

Z:\Projects 2016\32 SOCIAL SERVICES TRAINING CENTER\drawing\BUILDING #32.rvt 9/12/2016 1:18:04 PM

GENERAL NOTES	
REGULATORY AGENCIES	
1. ALL WORK SHALL CONFORM TO THE MOST CURRENT, APPLICABLE LOCAL AND NATIONAL CODES, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE (CBC), UNIFORM MECHANICAL CODE (UMC), UNIFORM PLUMBING CODE (UPC), NATIONAL ELECTRIC CODE (NEC), AND CALIFORNIA ENERGY STANDARDS (TITLE 24).	
2. SEPARATE DRAWINGS, CALCULATIONS AND SUBMITTAL MATERIALS SHALL BE PROVIDED FOR REVIEW AND APPROVAL OF SIGNAGE.	
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AS HOLDER OF PERMITS TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. INSPECTION REQUESTS SHALL BE IN ACCORDANCE WITH REGULATORY AGENCIES' REQUIREMENTS. INSPECTORS SHALL HAVE COMPLETE ACCESS TO ALL WORK.	
4. A RECORD OF INSPECTIONS SHALL BE MAINTAINED ON THE JOB SITE IN ACCORDANCE WITH REGULATORY AGENCY REQUIREMENTS.	
5. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY ANY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES WHICH ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT. A REPRODUCIBLE AS-BUILT SET SHALL BE PROVIDED TO THE OWNER WHEN COMPLETE.	
PREPARATION FOR CONSTRUCTION	
1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY FAMILIARIZE HIMSELF/HERSELF WITH THESE DRAWINGS AND THE SITE CONDITIONS, AND TO VERIFY ALL DETAILS WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.	
2. DO NOT SCALE DRAWINGS.	
3. DIMENSIONS ARE TO FACE LINE OF STUD (F.O.S.) UNLESS OTHERWISE NOTED, WHERE REQUIRED, MINIMUM CLEAR DIMENSIONS HAVE BEEN NOTED. SEE COVER SHEET FOR GRAPHIC EXPLANATION.	
4. ANY DISCREPANCY OR ERROR IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE COMMENCEMENT OF WORK.	
5. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS, AND TYPICAL DETAILS OF CONSTRUCTION. WORK NOT EXPRESSLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.	
6. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE/SHE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND HIS CONSULTANTS DO NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES FOR SUCH METHODS OF CONSTRUCTION. ANY SUPPORT SERVICES PROVIDED BY THE ARCHITECT AND HIS CONSULTANTS DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES, WHICH ARE FURNISHED BY THE ARCHITECT AND HIS CONSULTANTS, WHETHER OF MATERIAL OR WORK AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.	
7. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR AMBIGUITIES AND OMISSIONS NOT BROUGHT TO THEIR ATTENTION.	
8. BY SUBMITTING A BID, THE BIDDER AGREES AND WARRANTS THAT HE/SHE HAS EXAMINED THE DRAWINGS AND FOUND THAT THEY ARE ADEQUATE FOR COMPLETION OF THE PROJECT.	
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE MADE IN ACCORDANCE WITH THE DECISION OF THE ARCHITECT AND/OR OWNER.	
10. CONTRACTOR'S SCOPE OF WORK: ALL LABOR, MATERIALS, FABRICATION, EQUIPMENT, APPLIANCES, APPURTENANCES, TRANSPORTATION AND SERVICES REQUIRED FOR CONSTRUCTION, ERECTION, AND INSTALLATION OF ALL OF THE VARIOUS WORK INDICATED ON THE DRAWINGS AND/OR SPECIFIED UNDER EACH OF THE SPECIFICATION SECTIONS; ANY SITE DEMOLITION AND REMOVAL OF ANY MATERIAL, RUBBISH, OR DEBRIS ABOVE OR BELOW GRADE; ALL EARTHWORK AND FOUNDATION WORK.	
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE WORK IN ACCORDANCE WITH THE PROPERTY LINES AND ELEVATIONS PER THE SURVEY DRAWING AND GRADING/DRAINAGE PLAN.	
12. CONTRACTOR TO COORDINATE ALL PLUMBING, GAS, ELECTRICAL, SPRINKLER, AND HVAC SYSTEMS FOR COMPATIBILITY WITH THE PROPOSED DESIGN PRIOR TO COMMENCEMENT OF CONSTRUCTION.	
13. CONTRACTOR TO VERIFY ALL ELECTRICAL, PLUMBING, AND HVAC REQUIREMENTS FOR EXISTING OR SPECIFIED EQUIPMENT PRIOR TO CONSTRUCTION. ADDITIONALLY, CONTRACTOR SHALL CONFIRM EQUIPMENT LIST WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.	
14. RUFF + ASSOCIATES, INC. SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, HANDLING, PRESENCE, DISPOSAL, REMOVAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), OR OTHER TOXIC SUBSTANCES. SUCH WORK, IF REQUIRED, SHALL BE COMPLETED UNDER SEPARATE CONTRACT.	

GENERAL NOTES	
QUALITY AND JOB MANAGEMENT	
1. THE CONTRACTOR SHALL CONSULT THE INTERIOR FINISH SCHEDULE FOR ALL INTERIOR MATERIALS COORDINATION, CABINETS, ETC.	
2. ALL ITEMS OF MILLWORK SHALL BE CAREFULLY ERECTED WITH TIGHT-FITTING JOINTS, CAREFULLY CUT AND SECURED. EXPOSED NAILS OR SCREWS SHALL BE SET IN PUTTY. BACK PRIME ALL MILLWORK BEFORE INSTALLATION AND PROTECT AGAINST DAMPNESS. MOLDS AND FACES SHALL BE CLEAN CUT AND TRUE PATTERN. ALL WORK SHALL BE THOROUGHLY CLEANED AND SANDED TO RECEIVE THE FINISH. SHARP CORNERS OF SMALL MEMBERS OF FINISH WOODWORK SHALL BE SLIGHTLY ROUNDED.	
3. ALL FRAMING SHALL BE INSTALLED CLOSELY FITTED, ACCURATELY SET IN PLACE TO THE REQUIRED LINES AND LEVELS, AND SHALL BE OF THE DIMENSIONS SHOWN ON DRAWINGS. DO NOT IMPAIR STRUCTURAL MEMBERS BY CUTTING OR DRILLING - CONSULT ARCHITECT.	
4. ALL PROPRIETARY PRODUCTS NOTED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND HAVE PRIOR APPROVAL FROM THE LOCAL GOVERNING AGENCIES.	
5. THE ARCHITECT AND THE ENGINEER WILL MAKE PERIODIC VISITS TO THE JOB SITE TO OBSERVE THE PROGRESS OF THE WORK. THE ARCHITECT AND ENGINEER SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY PERSONS PERFORMING ANY OF THE WORK OR FOR FAILURE OF ANY OF THOSE PARTIES TO CARRY OUT THE WORK IN CONFORMANCE WITH CONTRACT DOCUMENTS.	
6. CUTTING & PATCHING: AVOID DAMAGING ADJACENT EXISTING WORK. REPAIR OR REPLACE AT NO COST TO OWNER ANY DAMAGE CAUSED BY CONSTRUCTION.	
7. TEMPORARY SHORING: STRUCTURALLY BRACE AND SUPPORT ALL MATERIALS REQUIRING THE SAME FOR THE WORK TO OCCUR SAFELY AND IN COMPLIANCE WITH JURISDICTIONAL REGULATIONS.	
CHANGES TO WORK & SUBMITTALS	
1. CHANGES OR MODIFICATIONS TO THE WORK DURING CONSTRUCTION SHALL BE RECORDED WITH THE APPROPRIATE REGULATORY AGENCIES, AND APPROVALS FROM SUCH AGENCIES SHALL BE OBTAINED PRIOR TO MAKING SUCH CHANGES. REGULATORY AGENCIES SHALL BE NOTIFIED BY THE CONTRACTOR OF ALL SUCH CONSTRUCTION CONTRACT CHANGES AFTER PERMITS ARE ISSUED.	
2. THE ARCHITECT SHALL BE INFORMED, IN WRITING, OF ALL CHANGES OR SUBSTITUTIONS MADE TO THESE PLANS AND SPECIFICATIONS. THE ARCHITECT SHALL HAVE NO IMPLIED OR ASSUMED RESPONSIBILITY FOR CHANGES IMPLEMENTED WITHOUT THE ARCHITECT'S PRIOR APPROVAL.	
3. SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL SUPPLY THE ARCHITECT/ENGINEER WITH A MINIMUM OF TWO (2) COPIES OF CHECKED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE, A MINIMUM OF THREE (3) WEEKS PRIOR TO FABRICATION. THE REVIEW OF SHOP DRAWINGS AND SPECIFICATIONS BY THE ARCHITECT/ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT INFER THAT THEY SUPERSEDE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.	
4. SUBSTITUTIONS: PROPRIETARY ARTICLES MAY BE SUBSTITUTED IF, IN THE OPINION OF THE ARCHITECT AND OWNER, THE MATERIAL OR ARTICLE IS EQUAL TO THAT SPECIFIED. REQUEST FOR SUBSTITUTIONS SHALL NOT DELAY WORK. CONTRACTOR SHALL COORDINATE ACCEPTED SUBSTITUTIONS WITHOUT ADDITIONAL COST TO OWNER. ALL SUBSTITUTIONS MUST HAVE WRITTEN PERMISSION. COLOR SAMPLES OF ALL MATERIALS THAT AFFECT THE AESTHETICS OF THE DESIGN MUST BE SUBMITTED. WHEN A MANUFACTURED PRODUCT IS NOT SPECIFIED, CONTRACTOR WILL UTILIZE THE HIGHEST QUALITY PRODUCT AVAILABLE ON THE MARKET IN THE MIDDLE PRICE RANGE. CONTRACTOR SHALL ON NO ACCOUNT USE LOWER-END PRODUCTS AT THE BOTTOM PRICE RANGE WHEN BETTER QUALITY PRODUCT IN THE MIDDLE PRICE RANGE EXISTS.	
5. ONLY DRAWINGS, SPECIFICATIONS, ADDENDA AND CHANGE ORDERS BEARING APPROVAL OF OWNER SHALL BE USED IN THE EXECUTION OF WORK PERMITTED ON JOB SITE.	
6. ADDENDA WILL BE ISSUED DURING BIDDING TO CLARIFY DRAWINGS (AND SPECIFICATIONS) AS REQUIRED. THESE WILL BECOME A PART OF THE CONTRACT - CONSULT ARCHITECT.	
7. THERE SHALL BE NO DEVIATIONS WHATSOEVER FROM THE CONTRACT DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL THEREOF. THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY CLAIMS ARISING AS A RESULT OF UNAPPROVED CHANGES.	
COMPLETION	
1. ALL WORK SHALL BE CLEAN AND READY FOR USE UPON COMPLETION. EXPOSED AND SEMI-EXPOSED SURFACES BE DUSTED, MOFFED, WASHED, WIPED AND BUFFED AS NECESSARY TO LEAVE WORK IN A NEW, CLEAN, IMMACULATE CONDITION.	
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING OWNER(S) WITH RECORD CONSTRUCTION/AS-BUILT SET OF DRAWINGS AND ALL WARRANTIES FOR PRODUCTS USED AFTER COMPLETION OF PROJECT.	

SYMBOLS AND ABBREVIATIONS	
ABBREVIATION TERM:	
8 L @	AND ANGLE AT
A.B.	ANCHOR BOLTS
ABV.	ABOVE
A.C.	AIR CONDITIONING
A.C.T.	ACOUSTICAL CEILING TILE
ACOUS.	ACOUSTIC
ADJ.	ADJUSTABLE OR ADJACENT
A.F.FL.	ABOVE FINISHED FLOOR
AL.	ALUMINUM
ALT.	ALTERNATE
A.P.	ACCESS PANEL
APPL.	APPLIANCE
APPROX.	APPROXIMATELY
ARCH.	ARCHITECT
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
B.N.	BOUNDARY NAILING
BOT.	BOTTOM
C.G.	CORNER GUARD
C.J.	CONTROL JOINT
C.L.	CENTER LINE
CLG.	CEILING
CLO.	CLOSET
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
CNTR.	COUNTER
COL.	COLUMN
CONC.	CONCRETE
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CPT.	CARPET
CTR.	CENTER
CTSK.	COUNTERSINK
DBL.	DOUBLE
DK.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	DISPENSER
DIST.	DISTANCE
DN.	DOWN
D.F.	DOUGLAS FIR
DR.	DOOR
DS	DOWNSPOUT
DTL.	DETAIL
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EMRGY	EMERGENCY
ENG.	ENGINEERED
E.P.	ELECTRICAL PANELBOARD EQUAL
EQ.	EQUIPMENT
EXC.	EXCEPT
EXT.	EXTERIOR
F.B.O.	FURNISHED BY OTHERS
F.D.	FLOOR DRAIN
F.N.	FOUNDATION
F.F.	FINISH TO FINISH
F.FL.	FINISH FLOOR
FIN.	FINISH
FLR.	FLOOR
FLOUR.	FLUORESCENT
F.O.	FACE OF
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
F.R.P.	FIBERGLASS REINFORCED PANEL
F.S.E.C.	FOOD SERVICE EQUIPMENT
FT.	FOOTING
FT.	FOOT OR FEET
GA.	GAUGE
GALV	GALVANIZED
G.F.R.C.	GALVANIZED REINFORCED CONCRETE
G.B.	GRAB BAR
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GND.	GROUND
G.S.M.	GALVANIZED SHEET METAL
G.W.B.	GYPSON WALL BOARD
GYP.	GYPSON
H.B.	HOSE BIBB
HDWD.	HARDWOOD
HDWR	HARDWARE
HGT.	HEIGHT
HORIZ.	HORIZONTAL
HR.	HOOR, HOURS
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
JT.	JOINT
K.E.C.	KITCHEN EQUIPMENT CONTRACTOR
KIT.	KITCHEN
LAV.	LAVATORY
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MTL.	METAL
MTRL.	MATERIAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.H.	NOT TO SCALE
O	OVER
O.C.	ON CENTER
O.D.R.	OVERFLOW DRAIN
OH.	OVERHEAD
O.S.C.I.	OWNER SUPPLIED, CONTRACTOR INSTALLED
P.B.O.	PROVIDED BY OWNER
PEN	PERIMETER EDGE
PERP.	PERPENDICULAR
PL.	PLATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
P.L.	PROPERTY LINE
P.LAM.	PLASTIC LAMINATE
P.S.F.	POUNDS PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
PTD.	PAINTED
PTN.	PARTITION
R.	RISER
R.D.	ROOF DRAIN
REF.	REFRIGERATOR
REG.	REGISTER
REQ.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
R.S.	ROUGH SAWN
RWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
SCH.	SCHEDULE
SECT.	SECTION
S.F.	SQUARE FEET
SH.	SHELF
SHR.	SHOWER
SHTG.	SHEATHING
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
S.S.	STAINLESS STEEL
S.S.D.	SEE STRUCTURAL DRAWINGS
STOR.	STORAGE
STR.	STRUCTURE
SUSP.	SUSPENDED
S.W.	SHEAR WALL
T	TREAD
T.B.	TOWEL BAR
T.B.D.	TO BE DETERMINED
TEMP.	TEMPERED
T.O.C.	TOP OF CURB
T&G	TONGUE AND GROOVE
THK.	THICK
T.N.	TOE NAIL
T.O.B.	TOP OF BEAM
T.O.CONC.	TOP OF CONCRETE
T.O.P.	TOP OF PAVEMENT
T.O.PL.	TOP OF PLATE
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
WT.	WEIGHT
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
WDW.	WINDOW
W.H.	WATER HEATER
W/I	WITHIN
W/O	WITHOUT
W.P.	WATER PROOF
W.R.	WATER RESISTANT
WSCT.	WAINSCOT

XX	DOOR NO.	XX	DETAIL NO.
XX	WINDOW NO.	YYY	DETAIL REFERENCE SHEET NO.
XX	GENERAL CONSTRUCTION SHEET NOTES	X	DRAWING NO.
XX	WALL TYPE	YYY	ELEVATION REFERENCE SHEET NO.
XX	KEY NOTE	X	DRAWING NO.
+	DATUM REFERENCE: ELEVATION, WORK OR CONTROL	YYY	SECTION REFERENCE SHEET NO.
F-I	FINISH NOTE REFERENCE	A	INTERIOR ELEV. NO.
	DIMENSIONS	X	INT. ELEV. REFERENCE SHEET NO.
	F.O.S. OR MASONRY CENTERLINE	YYY	
	FACE OF FINISH (CLR./MINIMUM CLR.)		
ALIGN	ALIGN FINISH SURFACES	8'-9" EL.	ELEVATION
	EXISTING CONSTRUCTION TO REMAIN	N	NORTH
	EXISTING TO BE REMOVED	XX	EQUIPMENT NO.
FF1	NEW CONSTRUCTION	XXX	ROOM IDENTIFICATION
FF2	CHANGE IN FINISH FLOOR MATERIALS	YYY	ROOM NO.
X I Y	SIGNAGE DETAIL NO.		
	SIGNAGE KEYNOTE	I	REVISION NO.
	SHEET NO.		
	SIGNAGE SYMBOL		
	HOLDOWN		
	SHEAR WALL NUMBER		
	SHEAR WALL REFERENCE		

DRAWING INDEX	
ARCHITECTURAL	
TI.1	PROJECT TITLE SHEET
TI.2	NON-RESIDENTIAL MANDATORY MEASURES
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AI.4	ELEVATIONS
STRUCTURAL	
SI.0	CANPOY FOUNDATION PLAN
SPRINKLERS	
NO	
ADA	
ADAI	DISABLED ACCESSIBILITY DETAILS
M. E. P.	
M.1	MECHANICAL PLAN
E.1	(E) LIGHTING & REFLECTIVE CEILING PLAN
E.2	AS BUILT & (N) POWER PLAN
TITLE 24	
ECI	ENERGY COMPLIANCE
DEFERRED SUBMITTAL	
NONE APPLICABLE	

PROJECT TEAM	
ARCHITECT	STRUCTURAL ENGINEERING
RUFF + ASSOCIATES INC.	NATHAN TOEWS, P.E.
ARCHITECTURE & PLANNING	CALIFORNIA CIVIL ENGINEER #70251
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707-472-0525 FAX 707-472-0527	

SCOPE OF WORK	
* REMOVE EXISTING AND INSTALL NEW ULTRAWALL. SEE ULTRAWALL TECHNICAL DETAILS RELOCATABLE PARTITIONS AND DOORS AS PER NEW FLOOR PLAN.	
* ADD A PARTIALITY METAL ROOFED PATIO WITH A METAL PRIVACY WALL & GATE.	
* REMOVE AND REPLACE HVAC AS PER PLANS.	
*ADJUST FIXTURES IN THE TWO UNISEX TOILET ROOMS TO MEET ADA REQUIREMENTS.	

PROPOSED PARCEL DATA	
LOCATION: 841 LOW GAP ROAD UKIAH, CA, 95482	
APN:	001-020-77
ZONING:	P.F.
LOT SIZE:	1 ACRE +
BUILDING AREA:	17,430 SQ. FT.
GROUP-M:	B-OFFICE, PRINT SHOP/ S-I MOTOR VEHICALREPAIR
TYPE OF CONSTRUCTION: II-B	
ALLOWABLE BUILDING HEIGHT: 55'	
ALLOWABLE STORIES: 3	
ALLOWABLE AREA:B- 23,000 SQ. FT. S-I 17,500 SQ. FT.	
TOTAL BUILDING:.....17,430 SQ. FT.	
TOTAL GROUP-B:.....11,790 SQ. FT. LESS THAN 23,000 SQ. FT.	
TOTAL GROUP S-I:.....5,640 SQ. FT. LESS THAN 17,500 SQ. FT.	
NO FIRE SPRINKLER SYSTEM REQUIRED.	
SEPRATION OF OCCUPANCIES: NONE	
OCCUPANT FLOOR ALLOWANCES:	
BREAK ROOM:	147 SQ. FT. / 100 SQ. FT. 1.47
RECEPTION/LOBBY:	240 SQ. FT. / 100 SQ. FT. 2.4
OFFICE I-TO-7:	1,164 SQ. FT. / 100 SQ. FT. 11.64
TRAINING ROOM 1:	514 SQ. FT. / II DESKS II
TRAINING ROOM 2:	341 SQ. FT. / 10 DESKS IO
WC, HALL,& SUPPLY ROOM:	750 SQ. FT. / N/A
TOTAL: 3,156 SQ. FT.	
TOTAL OCCUPANTS:37	
SITE SUPPORT DATA	
FIRE DISTRICT:CITY FIRE	
SEWER:CITY SEPTIC	
WATER:CITY WATER	
GAS:PGE	

VICINITY MAP	

DATE BY					
REVISIONS					
#					
RUFF + ASSOCIATES					
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CA License # C11736 - B597217					
LICENSED ARCHITECT RICHARD RUFF					
NO. C11736 REN. 11-30-17					
STATE OF CALIFORNIA					
SOCIAL SERVICES TRAINING CENTER TENANT IMPROVEMENT PROJECT					
841 LOW GAP ROAD UKIAH, CA, 95482					
SHEET TITLE					
TITLE SHEET					
DRAWN BY RPR					
CHECKED BY RPR					
DATE CREATED 4-22-16					
DATE ISSUED --					
SCALE AS NOTED					
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2013 CALGreen Non-Residential Mandatory Measures Checklist

Feature or Measure	Required	SHEET
SITE DEVELOPMENT (5.106)		
Bicycle parking. Comply with Sections 5.106.4.1 and 5.106.4.2, or meet local ordinance, whichever is stricter.		
Short-term bicycle parking. If the project is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 3% of visitor motorized vehicle parking capacity, with a minimum of one two-bike capacity rack.	YES	A0.1
Long-term bicycle parking. For buildings with over 10 tenant-occupants, provide secure bicycle parking for 3% of tenant-occupied motorized vehicle parking capacity, with a minimum of one space.		
Designated parking. Provide designated parking for any combination of low-emitting, fuel efficient, and carpool/van pool vehicles as shown on Table 5.106.5.2.	YES	A0.1
Light pollution reduction. Outdoor lighting systems shall be designed and installed to comply with the following: 1. The minimum requirements in the California Energy Code (CEC) for Lighting Zones 1-4, and 2. Backlight, Uplight and Glare (BUG) ratings as defined in IESNA TM-15-11, and 3. Allowable BUG ratings not exceeding those shown in Table 5.106.8.	N/A	
Exceptions: 1. Luminaires that qualify as exceptions in Section 147 of the CEC. 2. Emergency lighting		
WATER EFFICIENCY AND CONSERVATION		
INDOOR WATER USE (5.303)		
Meters. Separate meters shall be installed for the uses described in Sections 503.1.1 through 503.1.3.		
Buildings in excess of 50,000 square feet.		
Separate submeters shall be installed as follows: 1. For each individual leased, rented, or other tenant space within the building projected to consume more than 100 gal/day. 2. For spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop projected to consume more than 100 gal/day. A separate submeter or metering device shall be provided for any tenant within a project or space within a building that is projected to consume more than 1,000 gal/day.	NO	EXISTING
Water reduction. Plumbing fixtures shall not exceed the maximum flow rate values shown in Table 5.303.2.2.		
Waterwater reduction. Each building shall reduce by 20% wastewater by one of the following methods: 1. The installation of water-conserving fixtures meeting criteria in section 5.303.2 or 5.303.3, or 2. Utilizing non-potable water system	YES	AI. 2 & ADAI
Plumbing Fixtures and Fittings. Plumbing fixtures shall be installed in accordance with the California Plumbing Code (CPC)	YES	AI. 2 & ADAI
OUTDOOR WATER USE (5.304)		
Water budget. A water budget shall be developed for landscape irrigation use.	N/A	
Outdoor potable water use. For new water service, or for addition or alteration requiring upgraded water service for landscaped areas with at least 1000 square feet but not more than 5000 square feet., separate meters or submeters shall be installed for indoor and outdoor potable water use	N/A	

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2013 CALGreen Non-Residential Mandatory Measures Checklist
(Cont'd)

Feature or Measure	Required	SHEET
OUTDOOR WATER USE (5.304) cont'd		
Irrigation design. In new nonresidential construction or building additions or alteration projects with at least 1000 but not more than 2500 square feet of cumulative landscaped area (the level at which the MLO applies), install irrigation controllers and sensors which include the following criteria, and meet manufacturer's recommendations. 5.304.3.1 Irrigation controllers. Automatic irrigation system controllers installed at the time of final inspection shall comply with the requirements of 5.304.3.1.	N/A	
WEATHER RESISTANCE AND MOISTURE MANAGEMENT (5.407)		
Weather protection. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 and California Energy Code Section 150, manufacturer's installation instructions, or local ordinance, whichever is more stringent.	N/A	INTERIOR WORK ONLY
Moisture control. Employ moisture control measures by the following methods: Spiraldrains. Prevent irrigation spray on structures. Entries and openings. Design exterior entries and openings to prevent water intrusion into buildings.	N/A	INTERIOR WORK ONLY
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (5.408)		
A minimum of 75% of the construction waste generated at the site is diverted to recycle or salvage. This is achieved either by using City pre-certified landfills or implementation of a waste management plan. Waste management plan shall be pre-approved by Environmental Services Department.	YES	TI. 3
BUILDING MAINTENANCE AND OPERATION (5.410)		
Recycling by occupants. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage, and collection of non-hazardous materials for recycling.	YES	TI. 3
Commissioning. For new buildings 10,000 square feet and over, building commissioning for all building systems covered by T24, Part 6, process systems, and renewable energy systems shall be included in the design and construction processes of the building project. Commissioning requirements shall include items listed in 5.410.2.		
Owner's Project Requirements (OPR). Documented before the design phase of the project begins the OPR shall include items listed in 5.410.4.		
Basis of Design (BOD). A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project and updated periodically to cover the systems listed in 5.410.2.2.		
Commissioning plan. A commissioning plan describing how the project will be commissioned shall be started during the design phase of the building project and shall include items listed in 5.410.2.3.		
Functional performance testing shall demonstrate the correct installation and operation of each component, system, and system-to-system interface in accordance with the approved plans and specifications.		
Documentation and training. A System Manual and System Operations Training are required. System manual. The System Manual shall be delivered to the building owner or representative and facilities operator and shall include the items listed in 5.410.2.5.1. System operations training. The training of the appropriate maintenance staff for each equipment type and/or system shall include items listed in 5.410.2.5.2.	N/A	
Commissioning report. A complete report of commissioning process activities undertaken through the design, construction and reporting recommendations for post-construction phases of the building project shall be completed and provided to the owner or representative.		

2

2013 CALGreen Non-Residential Mandatory Measures Checklist
(Cont'd)

Feature or Measure	Required	SHEET
Testing and adjusting. Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet, or new systems to serve and addition or alteration. Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in 5.410.3.2. Procedures. Perform testing and adjusting procedures in accordance with industry best practices and applicable national standards on each system. HVAC balancing. Before a new space-conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in 5.410.4.3.1. Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. Operation and maintenance manual. Provide the building owner with detailed operating and maintenance instructions and copies of guarantees/warranties for each system prior to final inspection. Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	YES	M.1
ENVIRONMENTAL QUALITY		
POLLUTANT CONTROL (5.504)		
Covering of dirt openings and protection of mechanical equipment during construction. At the time of rough installation, or during storage on the construction site and until final stamp if the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or reduce the amount of dirt or debris which may collect in the system.	YES	M.1
Finish material pollutant control. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.4.	YES	AI.3
Adhesives, sealants, caulks. Adhesives and sealants used on the project shall meet the requirements of the following standards identified in sections 5.504.4.1, and tables 5.504.4.1 and 5.504.4.2.	SEE NOTES	
Paints and coatings. Architectural paints and coatings shall comply with Table 5.504.4.3 unless more stringent local limits apply. Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-Weighted MFR Limits for ROC in section 9452(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances (CCR, Title 17, Section 94520 et seq). Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency.		
Carpet systems. All carpet cushion installed in the building interior shall meet the testing and product requirements of one of the standards listed in 5.504.4.4. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.	YES	AI. 3
Composite wood products. Hardware plywood, particleboard, and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in Table 5.504.4.		
Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Other methods acceptable to the enforcing agency.		
Resilient flooring systems. For 80% of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the requirements of section 5.504.4.6.	N/A	
Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.		
Fibers. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air prior to occupancy that provides at least a MERV of 8.	YES	M.1

1

DATE BY

REVISIONS

#

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SOCIAL SERVICES TRAINING CENTER
TENANT IMPROVEMENT PROJECT
841 LOW GAP ROAD
UKIAH, CA, 95482

SHEET TITLE

NON-RESIDENTIAL
MANDATORY
MEASURES

DRAWN BY RUFF, RICHARD
CHECKED BY RPR
DATE CREATED 4-22-16
DATE ISSUED --
SCALE AS NOTED
PAGE
T1.2
SHEET OF

Recycling Instructions for Building & Demolition Permits

Contractors should use recycling to reduce trash disposal costs and prevent waste of resources.

Franchised Haulers

- **Ukiah (City Limits):** Ukiah Waste Solutions, 234-6400
- **Ukiah (outskirts), Redwood Valley, Hopland, Potter Valley:** Empire Waste Management, 462-0263
- **Willits, Laytonville, Anderson Valley, Covelo:** Solid Wastes of Willits, 459-4778
- **Fort Bragg area:** Fort Bragg Disposal, 964-9172
- **Gualala, Point Arena (outside City limits), Westport:** Solid Waste of Willits, 800-694-2722
- **Point Arena (City Limits):** Pacific Coast Disposal
- Haulers can provide bins for recyclables or a bin where trash and recyclables are mixed together and sorted out by transfer station. Consult hauler on building plans to ensure that adequate space for trash/recycling bins.

WOOD

Any lumber that hasn't been treated with toxic preservatives can be recycled. Plywood and chip board are recyclable. Order a wood recycling bin from the hauler or self-haul to Transfer Station or:

- **Nor Cal Wood Products**, 700 Kunzler Ranch Road, Ukiah 707-462-0686
- **Cold Creek Compost**, Potter Valley 707-485-5966

CARDBOARD & PAPER

In addition to dumpsters or roll-off bins, cardboard can be recycled into wheeled carts provided by the franchised hauler.

Recycle/Disposal Sites

- **Ukiah Transfer Station**, 3151 Taylor Drive, Ukiah, open Mon-Sat 8 - 4
- **Willits Transfer Station**, 350 Franklin Ave., Willits, open Tues - Sat 9 - 4
- **Boonville Transfer Station, Mountain View Rd.**, Boonville, open Tues/Wed 9 - 4, Sat/Sun 9 - 4
- **Potter Valley Transfer Station**, Main Street, Potter Valley, open Wed. 12 - 4, Sat 9 - 2, Sun. 9 - 4
- **Laytonville Transfer Station**, 1825 Branscomb Rd., Laytonville, open Tues/Wed 9 - 4, Sat/Sun 9 - 4
- **Casper Transfer Station**, end of Prairie Way, Caspar, open Mon - Wed 9 - 3, Sat/Sun 9 - 4
- **Albion Transfer Station**, Albion Ridge Road, Albion, open Wed 12 - 4, Sat/Sun 9 - 4
- **South Coast Transfer Station**, Fish Rock Rd., Gualala, open Mon - Wed 12 - 4, Sat/Sun 9 - 4
- **Westport Transfer Station**, 37551 N Hwy 1, Westport, open Thurs/Fri 10 - 2, Sat 10 - 4

All of Mendocino County

CONCRETE & ASPHALT

Can be recycled at the following facilities:

- **Granite Construction**, 4201 N. State St., Ukiah 467-4182 *Accepts concrete without rebar and asphalt for recycling.*
- **Boxman Gravel**, 1221 N. Main St., Fort Bragg 964-4033 *Accepts concrete without rebar and asphalt for recycling*
- **Northern California Recycled Concrete Products**, 351 Franklin St., Willits 459-3202 *Accepts concrete without rebar and asphalt for recycling*
- **NorCal Recycled Rock & Aggregate**, 291 A Shell Lane, Willits 459-9636

HAZARDOUS WASTE

Paint, solvents, fluorescent light tubes, lubricants, etc. are taken by the **HazMobile** household haz-ardous waste program. Open by appointment and also every Tuesday from 8 a.m. to 2 p.m. at 3200 Taylor Dr., Ukiah. 468-9710 MendoRecycle.org

GYPSUM BOARD & YARD WASTE

Recycled together because the gypsum board provides compost nutrients. Order a bin from the hauler or self-haul to Transfer Station or contact:

Cold Creek Compost, Potter Valley 485-5966

Deconstruction Service

Demolition by dismantling to recover all salvageable materials can save money and qualify for tax deductions. One deconstruction contractor is: **The Reuse People**, TheReusePeople.org, (888) 588-9490

For additional information on recycling, reuse and disposal, contact the **Mendocino Solid Waste Management Authority** at (707) 468-9710.

METAL

Non-ferrous metal (copper, brass, aluminum) is paid for at numerous locations, and ferrous metal (steel) is sometimes paid for depending on quantities and market value.

See transfer stations, also:

- **Ukiah Recycling Center**, 1080 Cunningham St., Ukiah 462-9399
- **Orca Towing**, 32180-B Airport Ro., Fort Bragg 964-8352
- **TCS Metals**, 3515 Taylor Dr., Ukiah 234-6425
- **John Foster Trucking**, 2800 Taylor Dr., Ukiah 462-2222
- **Redwood Recycling**, 1725 S. Main St., Willits 983-8240

REUSABLE FIXTURES

(doors, windows, plumbing, etc)

- **Albion Doors & Windows**, 937-0078
- **G&J Second Hand**, 667 Road A, Redwood Valley, 485-1216

OTHER MATERIALS

If cleanly separated in quantity, other materials may have a recycling market:

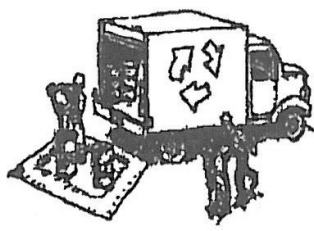
- Plastic film
- Rigid plastic
- Asphalt shingles
- Carpet & carpet padding
- Window glass

For further information, contact: Pacific Recycling Solutions, 234-6400 Solid Wastes of Willits, 459-4778

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Burn and cover stockpiles of sand, dirt or other construction material with tarp when rain is forecast or it not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in waste right containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not over-filled. Never leave down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all waste and debris properly. Recycle materials and waste that can be recycled (such as asphalt, concrete, aggregate base materials, wood, dry board, pipe, etc.).
- Dispose of liquid residues from paints, thinners, solvents, glue, and cleaning fluids in hazardous waste.

Construction Entrance and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to fully control erosion and sediment discharges from site and tracking off-site.
- Sweep or vacuum any street tracking immediately and secure vehicles enroute to prevent further tracking. Never leave down access to clean up tracking.

Equipment Management & Spill Control



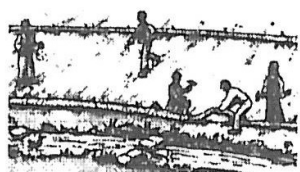
Maintenance and Parking

- Designate an area, lined with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair, tune, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and cover it with a tarp big enough to collect fuels. Recycle or dispose of fuel as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rain water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soap, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Store spill cleanup materials (sags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, sand, etc.).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report illegal fuel spills immediately. You are required by law to report all illegal fuel releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services/Warning Center, (800) 852-7550 (24 hours).

Earthwork & Contaminated Soils



Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber mats) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

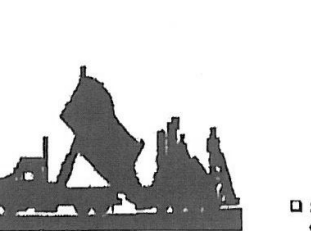
Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, filter socks, berms, etc.
- Prevent sediment from originating offsite by installing and maintaining sediment controls, such as filter socks, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the way out to the street.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Discard barrels, debris, or trash.

Paving/Asphalt Work



Prevent paving and seal coating in wet weather or when rain is forecast before fresh pavement will have time to cure.

- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess slurry, gravel or sand. Do NOT sweep or track it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Severing & Asphalt/Concrete Removal

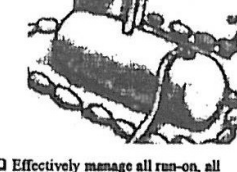
- Completely cover or bermdade storm drain basins when saw cutting. Use clear fabric, catch basin inlet filter, or gravel bags to keep slurry out of the storm drain system.
- Keep excavated soil on the site as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



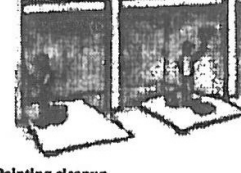
- Store concrete, grout and mortar under cover, or pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucka while it is in contained area, or there is no discharge into the underlying soil or into surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Direct run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Regional to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or loaded offsite for proper disposal.

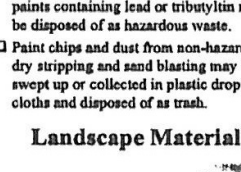
Painting & Paint Removal



- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface water.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinners/solvents as hazardous waste.

- Paint removal:
 - Chemical paint stripping methods and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloth and disposed of as trash.

Landscaping Materials



- Contain recycled landscaping materials by storing them under tarps when they are not actively being used.
- Stack reusable landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discard/contain application of any reusable landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

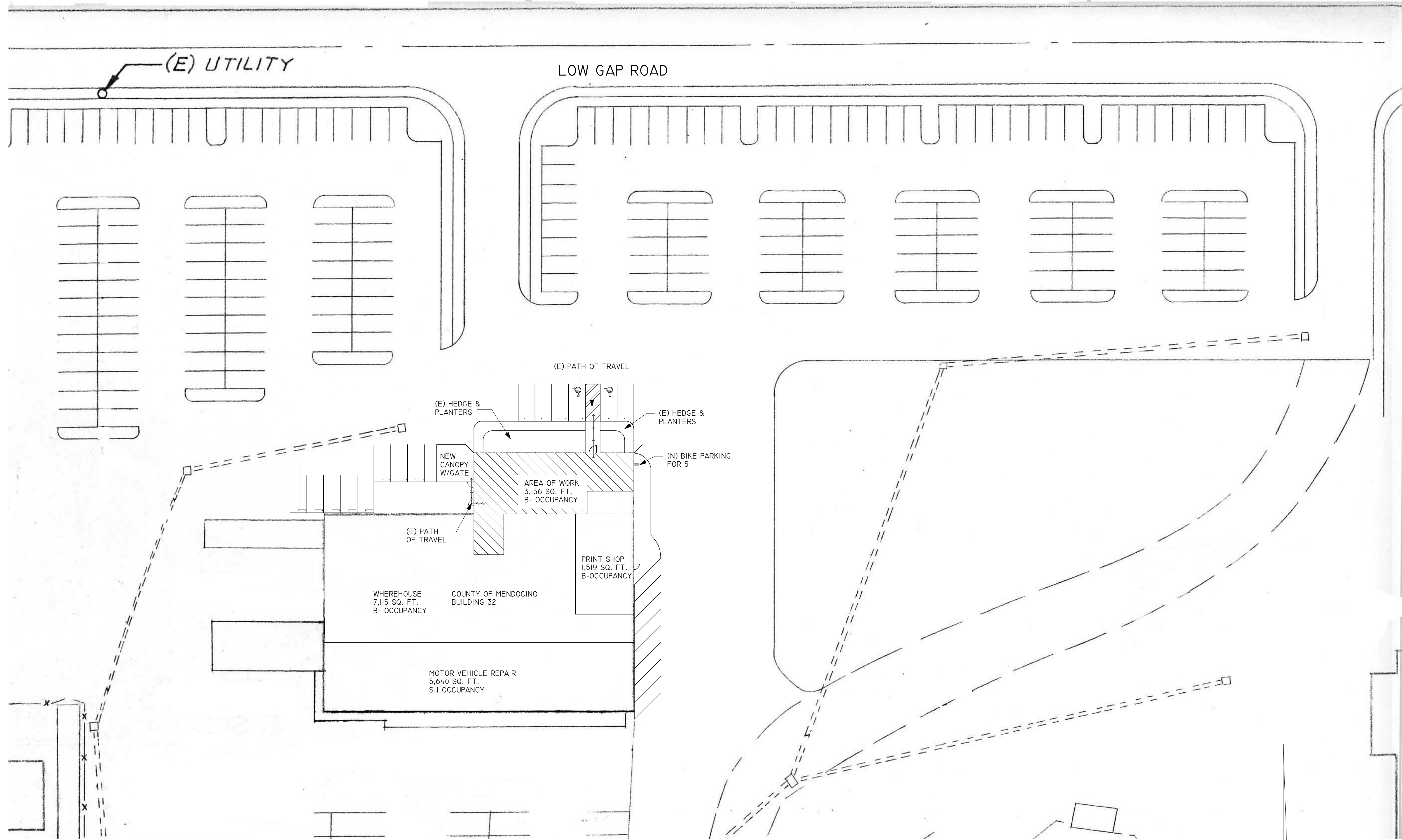
CONSTRUCTION WASTE MANAGEMENT PLAN

CONSTRUCTION WASTE REDUCTION OF AT LEAST 50% AN ACCOUNT WILL BE SET UP WITH WASTE LAYTONVILLE RECYCLING CENTER FOR BOXES TO BE SORTED AND THE RECYCLED CONTENT RECORDED FOR A FINAL REPORT TO BE SUBMITTED TO THE MENDOCINO COUNTY BUILDING DEPARTMENT.

MATERIALS FOR RECYCLING: UNTREATED AND UNPAINTED WOOD AND GREEN WASTE. CLEAN SINGLE STREAM RECYCLING (PAPERS, METAL, CANS, PLASTIC AND GLASS CONTAINERS.)

CONTACT: COUSTOMER SERVICE CENTER:
JULIE PRICE 707-234-6400
3151 TAYLOR DRIVE, UKIAH, CA. 95482


DATE	BY								
REVISIONS									
#									
RUFF + ASSOCIATES									
RUFF + ASSOCIATES Architecture Planning Development 100 West Standley Street, Ukiah, CA 95482 Phone: 707-472-0525 Fax: 707-472-0527 e-mail: richard@ruffarchitect.com COPYRIGHT (c) BY RUFF + ASSOCIATES. ALL RIGHTS RESERVED.									
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SOCIAL SERVICES TRAINING CENTER TENANT IMPROVEMENT PROJECT									
SHEET TITLE									
CONSTRUCTION WASTE									
DRAWN BY <i>ROBFOX</i>									
CHECKED BY RPR									
DATE CREATED 4-22-16									
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TOTAL BUILDING
B-AREA OF WORK.....3,156 SQ. FT.
B-PRINT SHOP.....1,519 SQ. FT.
S-I-MOTOR VEHICLE REPAIR...5,640 SQ. FT.
B-WAREHOUSE.....7,115 SQ.FT.

① SITE PLAN
1" = 30'-0" 17,430 TOTAL SQ.FT.

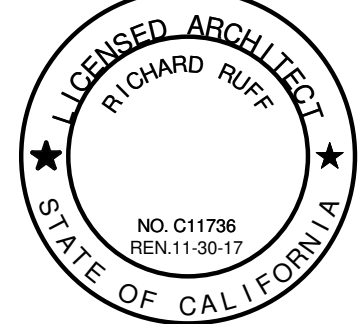
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LICENCED ARCHITECT
RICHARD RUFF
NO. C11736
REN. 11-30-17
STATE OF CALIFORNIA

SOCIAL SERVICES TRAINING CENTER
TENANT IMPROVEMENT PROJECT
841 LOW GAP ROAD
UKIAH, CA, 95482

SHEET TITLE

SITE PLAN

DRAWN BY *ROBFOX*
CHECKED BY RPR
DATE CREATED 4-22-16
DATE ISSUED --
SCALE AS NOTED

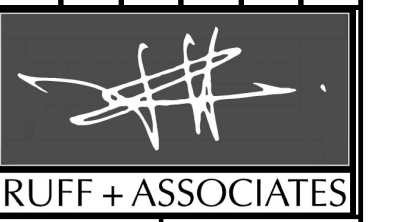
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1. REMOVE ALL ABANDONED PHONE, DATA & PRINTER CABLE
2. REMOVE (E) TOILETS, SINKS AND ACCESSORIES IN BATHROOMS
3. REMOVE ALL HVAC EQUIPMENT AND DUCT WORK FOR ZONES 1, 2 & 3.
4. HVAC ZONE 4 TO REMAIN, REMOVE DUCT WORK AT PRINT/MAIL, CUT AND CAP DUCT WORK TO REMAIN.

(E) OUTDOOR CONDENSING UNITS

$$1/4'' = 1'-0''$$

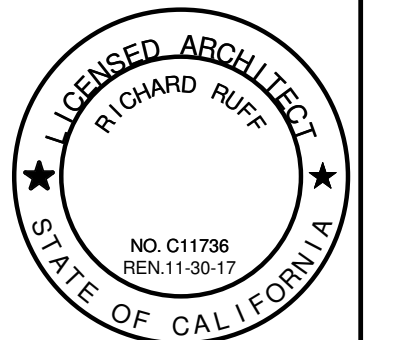
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SOCIAL SERVICES TRAINING CENTER
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SHEET TITLE

AS BUILT &
MEMO FLOOR
PLAN

DRAWN BY *ROBFOX*

CHECKED BY	RPR
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DATE CREATED 4-22-16

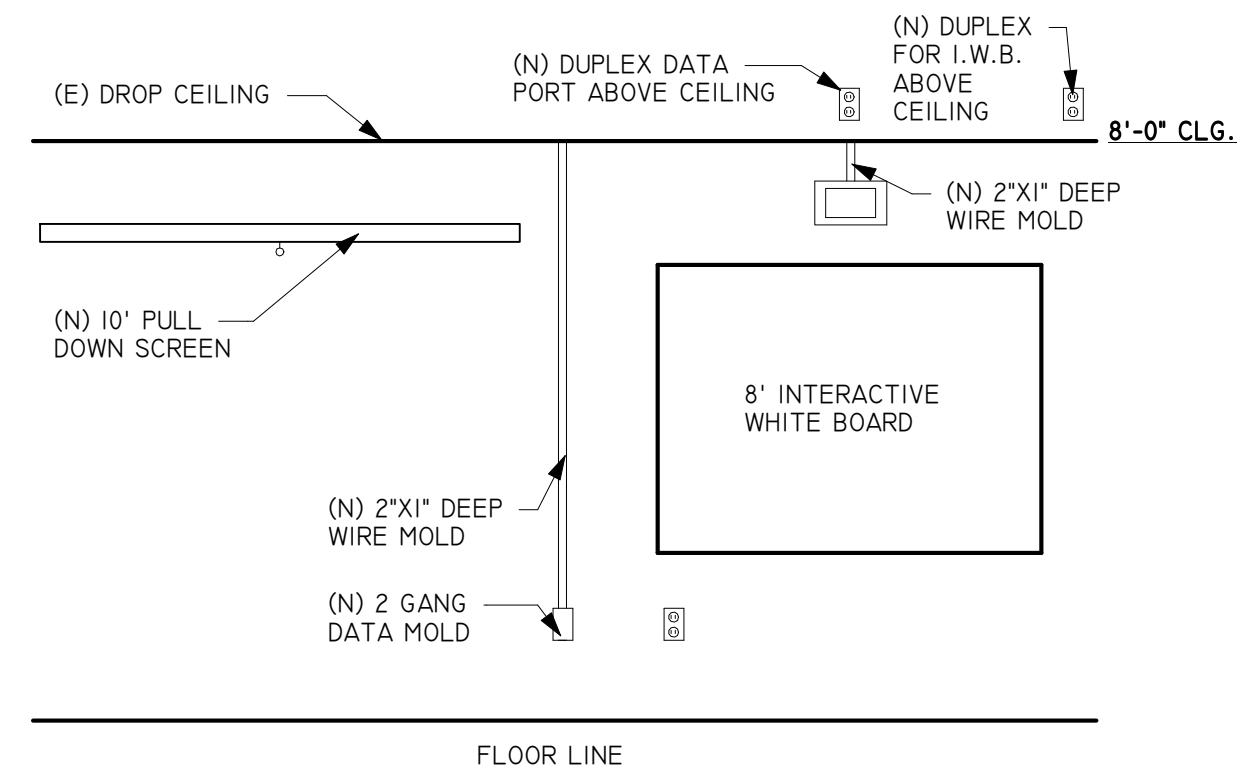
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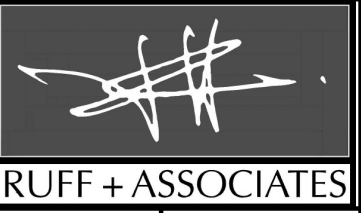
EA. SCHEDULE	
O.F.O.I. OWNER FURNISHED OWNER INSTALLED	
O.F.C.I. OWNER FURNISHED CONTRACTOR INSTALLED	
VIDEO CONFERENCE CONSOLE.....	O.F.O.I.
TV SCREENS:.....	O.F.O.I.
INTERACTIVE WHITE BOARDS:.....	O.F.C.I.
PROJECTION SCREEN:.....	O.F.C.I.
PROJECTORS:.....	O.F.O.I.
VIDEO CAMARA:.....	O.F.O.I.
SPEAKER:.....	O.F.O.I.
DESKS:.....	O.F.O.I.
CHAIRS:.....	O.F.O.I.
COMPUTERS:.....	O.F.O.I.
PRINTERS:.....	O.F.O.I.
DATA PATCH PANEL 48 PORT :.....	C.F.C.I.
TRAINING RM. CABS:.....	O.F.O.I.

O.F.O.I. OWNER FURNISHED OWNER INSTALLED	O.F.C.I. OWNER FURNISHED CONTRACTOR INSTALLED
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PROJECTORS:.....	O.F.O.I.
VIDEO CAMARA:.....	O.F.O.I.
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COMPUTERS:.....	O.F.O.I.
PRINTERS:.....	O.F.O.I.
DATA PATCH PANEL 48 PORT	C.F.C.I.
TRAINING RM. CABS:.....	O.F.O.I.



① FURNITURE, FIXTURE & FINISHES

#	REVISIONS	DATE	BY

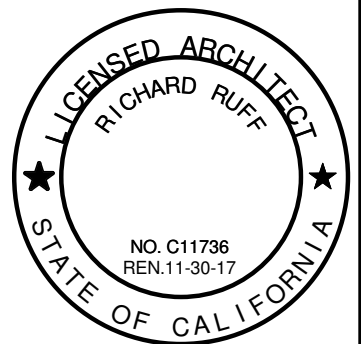


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SOCIAL SERVICES TRAINING CENTER
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841 LOW GAP ROAD
UKIAH, CA, 95482

SHEET TITLE

FURNITURE
FIXTURE &
FINISHES

DRAWN BY *ROBFOX*

CHECKED BY RPR

DATE CREATED 4-22-16

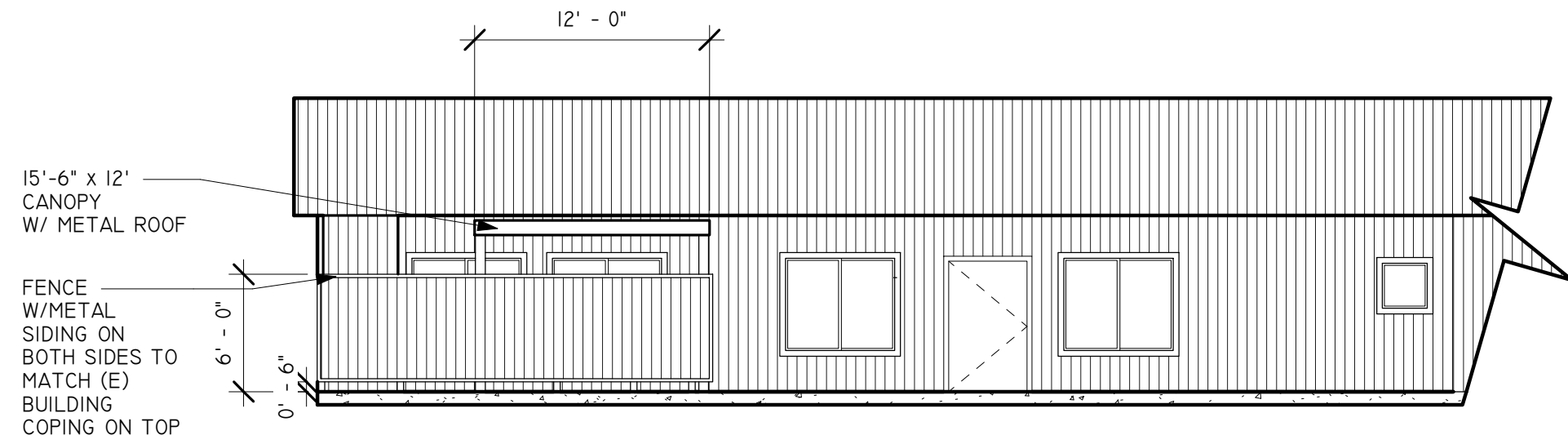
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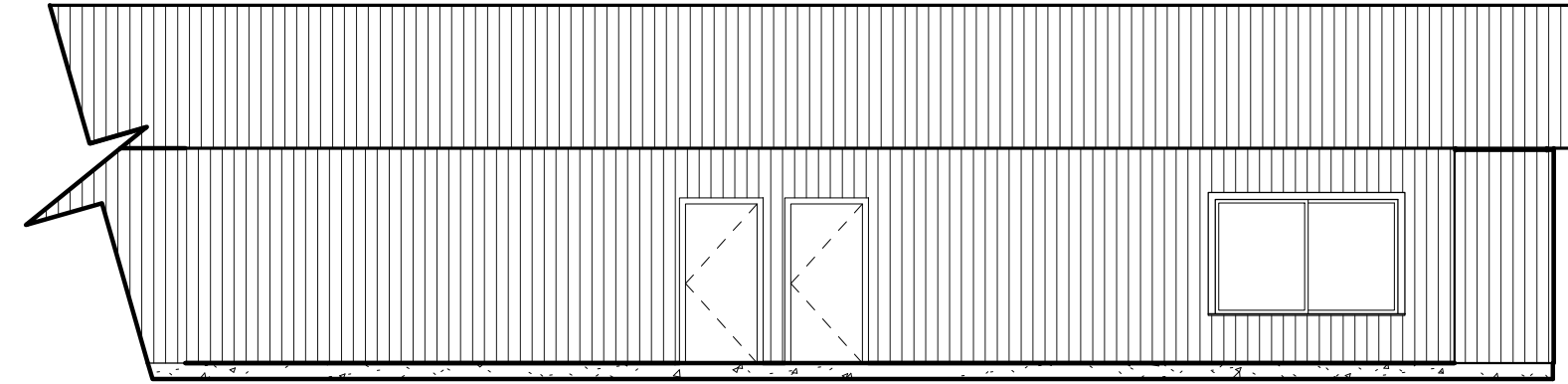
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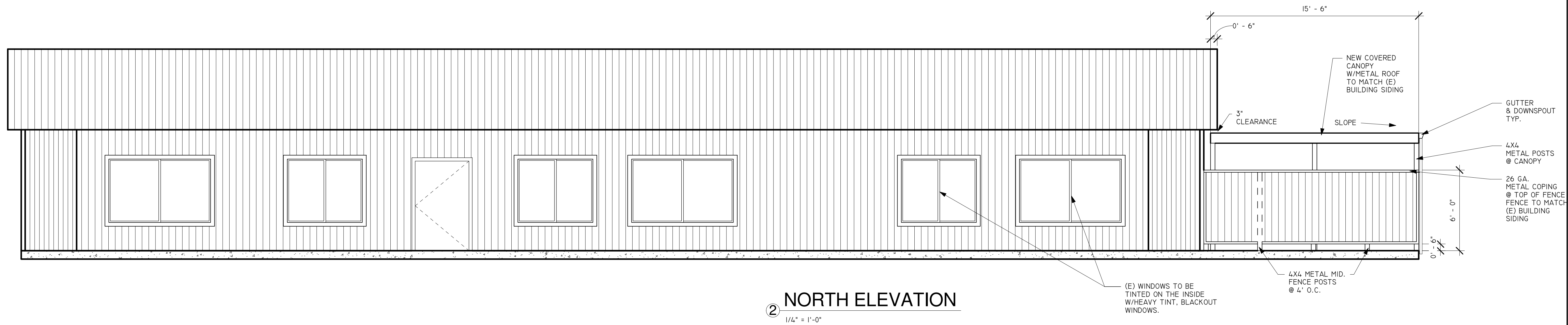
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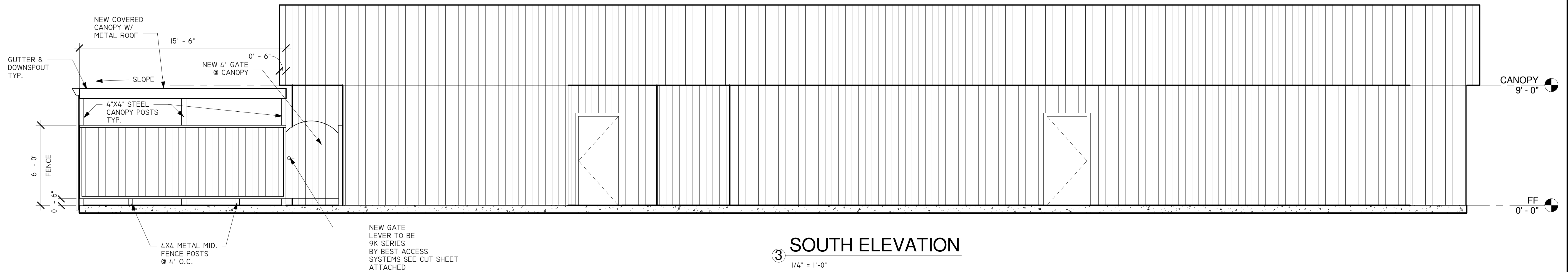
④ WEST ELEVATION
1/8" = 1'-0"



① EAST ELEVATION
1/8" = 1'-0"




② NORTH ELEVATION
1/4" = 1'-0"



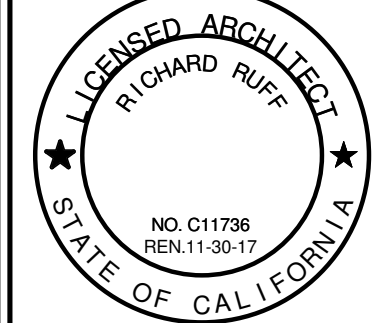
③ SOUTH ELEVATION
1/4" = 1'-0"

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**SOCIAL SERVICES TRAINING CENTER
TENANT IMPROVEMENT PROJECT**
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UKIAH, CA, 95482

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GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH THE CALIFORNIA BUILDING CODE (CBC) 2013 EDITION.
- DO NOT USE SCALED DIMENSIONS, USE WRITTEN DIMENSIONS. WHERE NO DIMENSIONS ARE SHOWN, CONSULT ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS.
- CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS AT THE SITE BEFORE STARTING WORK AND IMMEDIATELY NOTIFY THE ENGINEER IF ANY CONDITIONS OR DIMENSIONS ARE UNUSUAL OR NOT AS SHOWN ON THESE PLANS.
- SAFETY:
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA, AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. THE ENGINEER AND THE OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS AND SHORING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION IN ANY AREA. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT LEAST TWO WORKING DAYS IN ADVANCE OF ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES IN RECORD INFORMATION TO ENGINEER AND DEVELOPER PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING STRUCTURES NOT SPECIFICALLY DESIGNATED FOR DEMOLITION SHALL BE PROTECTED DURING CONSTRUCTION.
- THESE PLANS SHALL NOT BE CHANGED OR REUSED WITHOUT WRITTEN APPROVAL BY THE ENGINEER.
- THE SCOPE OF THESE NOTES IS LIMITED TO THE IMPROVEMENTS SHOWN ON THIS PLAN SHEET.

FOUNDATION NOTES

- FOUNDATION BEARING AREAS SHALL BE LEVEL, WITH STEPS PROVIDED TO ACCOUNT FOR CHANGES IN SURROUNDING GRADE.
- EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. NO MATERIAL IS TO BE EXCAVATED UNNECESSARILY.
- DESIGN ALLOWABLE BEARING PRESSURE = 1500 PSF
- A MINIMUM SEPARATION OF EIGHT INCHES SHALL BE PROVIDED BETWEEN FINISHED GRADE AND ANY WOOD STRUCTURAL COMPONENT.

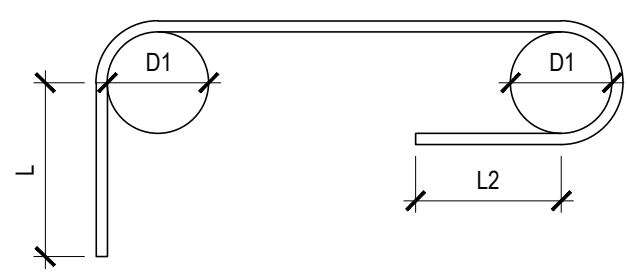
REINFORCING STEEL NOTES

- REINFORCING GRADES FOR CONCRETE AND MASONRY:
 - ALL BARS EXCEPT THOSE TO BE WELDED.....ASTM A615 GRADE 60
 - TIES AND STIRRUPS.....ASTM A615 GRADE 40
 - WELDED WIRE FABRIC.....ASTM A185
- REINFORCING STEEL SHALL NOT BE WELDED
- STEEL SHALL BE KEPT CLEAN AND FREE OF RUST.
- SPLICES IN CONTINUOUS REINFORCING AS USED IN WALLS, WALL FOOTINGS, ETC. SHALL HAVE CLASS "B" LAP SPLICES (18" MIN) AND SPLICES IN ADJACENT BARS SHALL BE NOT LESS THAN 60" APART. VERTICAL WALL BARS SHALL BE SPLICED AT OR NEAR FLOOR LINES. BARS SHALL BE WIRED TOGETHER AT SPLICES OR LAPS, EXCEPT FOR TOP REINFORCING OF BEAMS AND SLABS OR WHERE DEFINITELY DETAILED TO BE SEPARATED. SEE BEAM DETAILS OR SCHEDULES FOR SEPARATION OF BEAM OR GIRDER BARS OVER SUPPORTS. WELDED WIRE FABRIC SHALL BE LAPPED 12" MINIMUM.
- REINFORCEMENT PROTECTION:
 - CONCRETE POURED AGAINST EARTH.....3"
 - CONCRETE PLACED IN FORMS, BUT EXPOSED TO WEATHER OR EARTH:
IF BARS ARE LARGER THAN #5.....3"
IF BARS ARE #5 OR SMALLER.....1-1/2"
 - COLUMNS, GIRDERS, AND BEAMS.....1-1/2"
 - INTERIOR WALLS AND SLABS.....1-1/2"
 - STRUCTURAL SLABS ON GRADE.....2" FROM BOTTOM
.....1" FROM TOP
 - NON-STRUCTURAL SLABS ON GRADE.....2" FROM TOP
- EACH REINFORCING BAR SHALL BE WIRED TO A CROSS BAR AT A MAXIMUM SPACING OF 24"
- ALL REINFORCING BARS SHALL BE TERMINATED IN LAPS, 90 DEGREE BENDS, OR WITH DOWELS INTO (E) CONCRETE. BEND TOP FOOTING BARS DOWN TO BOTTOM STEEL. BEND BOTTOM FOOTING BARS UP WITH STANDARD 90 DEGREE BENDS. PROVIDE DOWELS INTO WALLS OF THE SAME SIZE AND SPACING AS WALL VERTICAL REINFORCEMENT. REINFORCING STEEL MAY LAP WITH COUPLERS WHICH ARE 125% OF BAR STRENGTH. AN ICBO REPORT MUST BE SUBMITTED FOR COUPLERS.
- DETAIL BARS IN ACCORDANCE WITH ACI DETAILING MANUAL, 1994. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING STEEL IN THE POSITIONS SHOWN ON THE PLANS.
- ALL DOWELS, ANCHOR BOLTS, AND OTHER HARDWARE TO BE SET IN CONCRETE SHALL BE TIED IN PLACE PRIOR TO PLACEMENT OF CONCRETE.

CONCRETE NOTES

- CONCRETE MIX DESIGN AND TESTING SHALL MEET THE REQUIREMENTS OF SECTIONS 1903, 1904, AND 1905 OF THE 2007 CBC AND THESE SPECIFICATIONS. MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONCRETE PLACEMENT.
- CONCRETE SHALL BE HARDROCK CONCRETE AND SHALL MEET THE FOLLOWING DESIGN CRITERIA:
 - MINIMUM 28-DAY COMPRESSIVE STRENGTH.....2500 PSI
 - MINIMUM CEMENT CONTENT.....5.5 SACKS/YD
 - MAXIMUM AGGREGATE SIZE.....1"
 - SUMP.....4"x1"
- CONCRETE SHALL BE MIXED, PLACED, AND CURED IN ACCORDANCE WITH ACI 318-95, CHAPTERS 3, 4 AND 5, AND THE PROJECT SPECIFICATIONS.
- REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".
- CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL (AS IN WALLS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. IN SUCH CASES, HOPPERS AND VERTICAL CHUTES SHALL BE USED TO PLACE CONCRETE AS CLOSE AS POSSIBLE TO ITS FINAL POSITION IN THE STRUCTURE. THE CONCRETE SHALL BE PLACED SUCH THAT THE SURFACE REMAINS LEVEL AT ALL TIMES.
- UNLESS OTHERWISE NOTED, THE SURFACE OF THE CONCRETE AT HORIZONTAL CONSTRUCTION JOINTS SHALL BE PRESSURE WASHED OR MECHANICALLY BRUSHED A MINIMUM OF 24 HOURS AND A MAXIMUM OF 72 HOURS AFTER THE CONCRETE IS PLACED. THE CLEANING SHALL BE SUFFICIENT TO EXPOSE CLEAN, SOLIDLY EMBEDDED AGGREGATE. SEE PLANS AND DETAILS FOR LOCATION AND TYPE OF CONSTRUCTION JOINT.
- ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING DOWELS, BOLTS, ANCHORS, PIPES AND SLEEVES SHALL BE SECURELY POSITIONED IN FORMS BEFORE PLACEMENT OF CONCRETE.

STANDARD HOOKS AND BENDS



BAR NO.	90° HOOK LENGTH L'	INSIDE DIAMETER D'1'	180° HOOK LENGTH L'2
3	4.5"	2.25"	2.5"
4	6"	3"	2.5"
5	7.5"	3.75"	2.5"
6	9"	4.5"	3"
7	10.5"	5.25"	3.5"
8	12"	6"	4"
9	13.5"	6.75"	4.5"
10	15.25"	7.5"	5.25"
11	17"	8.25"	6"

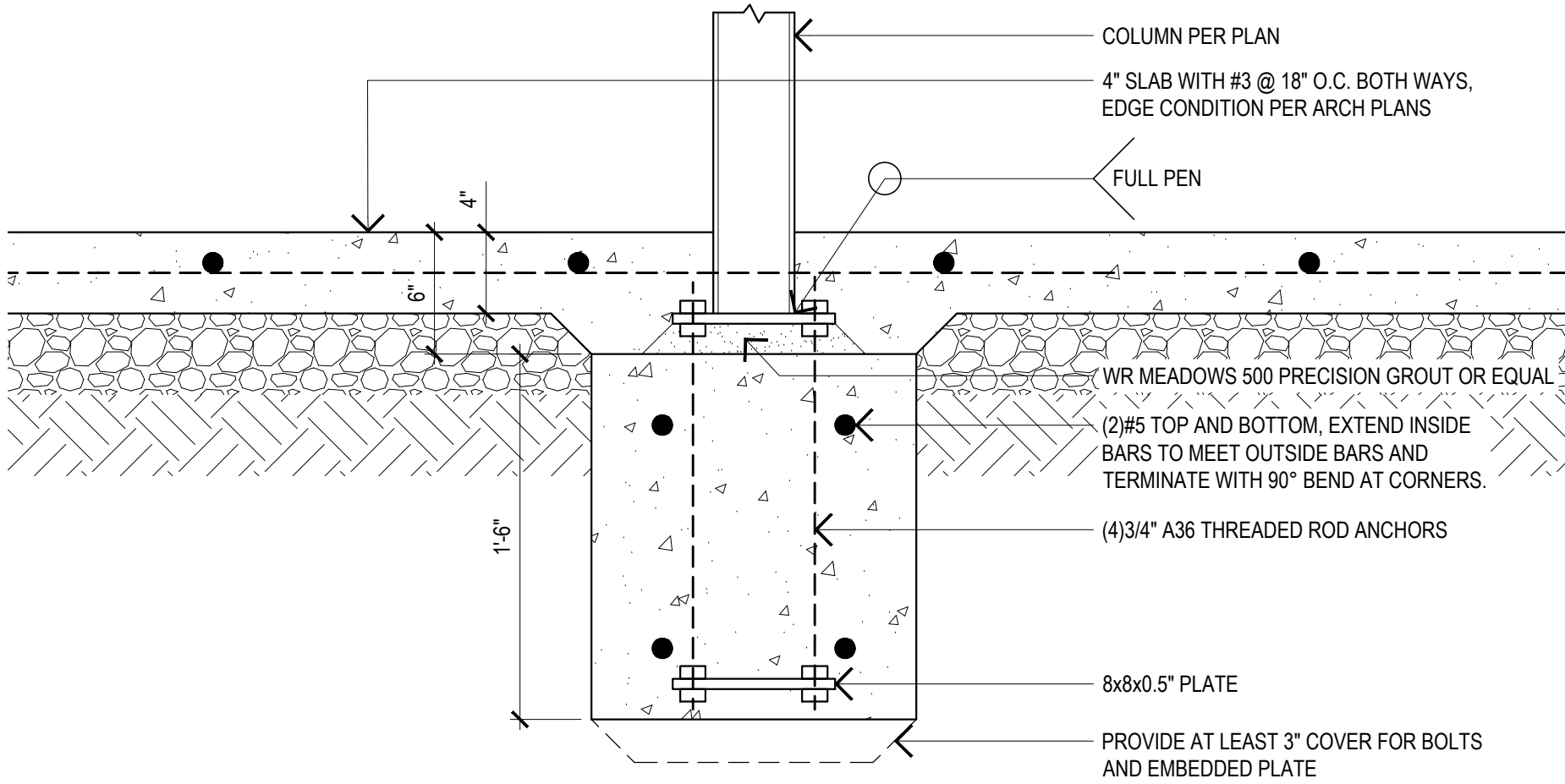
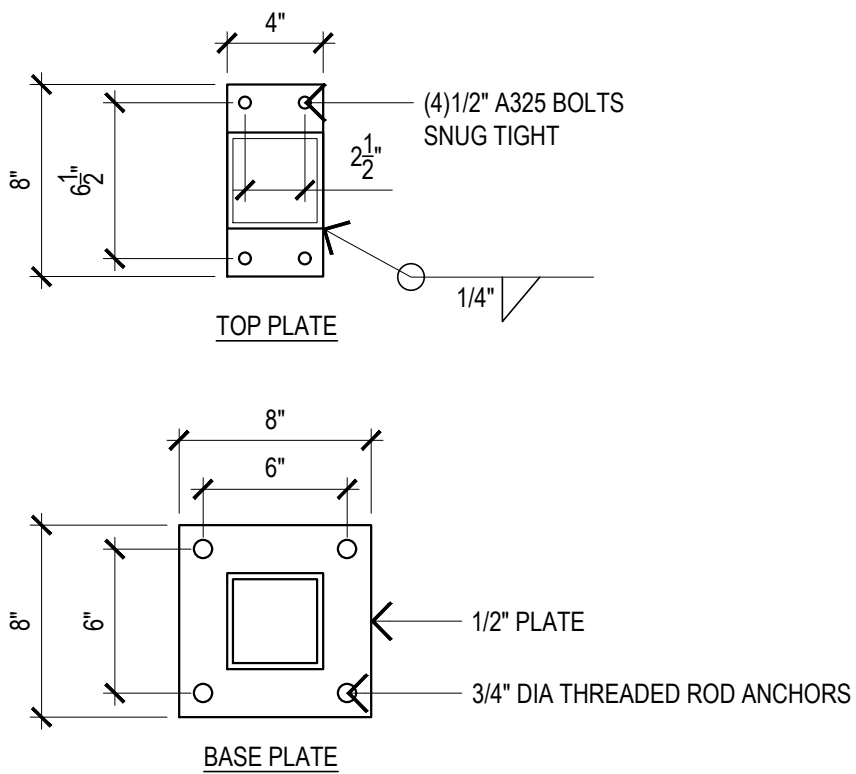
REBAR LAP SPLICES

BAR NO.	CLASS - A SPLICE	CLASS - B SPLICE
3	18"	24"
4	24"	32"
5	30"	40"
6	36"	48"
7	54"	70"
8	60"	78"

STRUCTURAL NOTES

SCALE: NONE

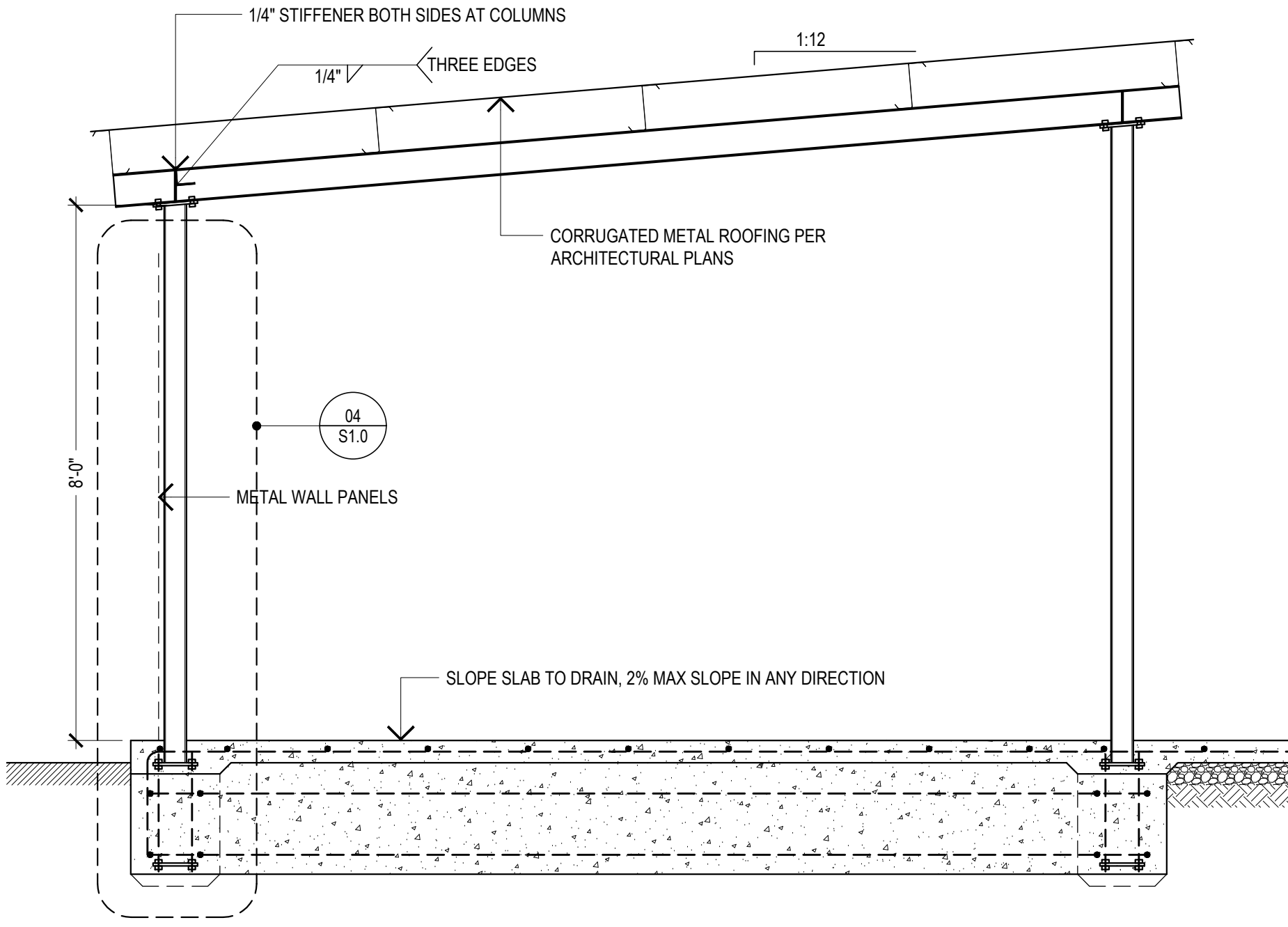
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GRADE BEAM; COLUMN BASE AND TOP PLATES

SCALE: 1-1/2"=1'-0"

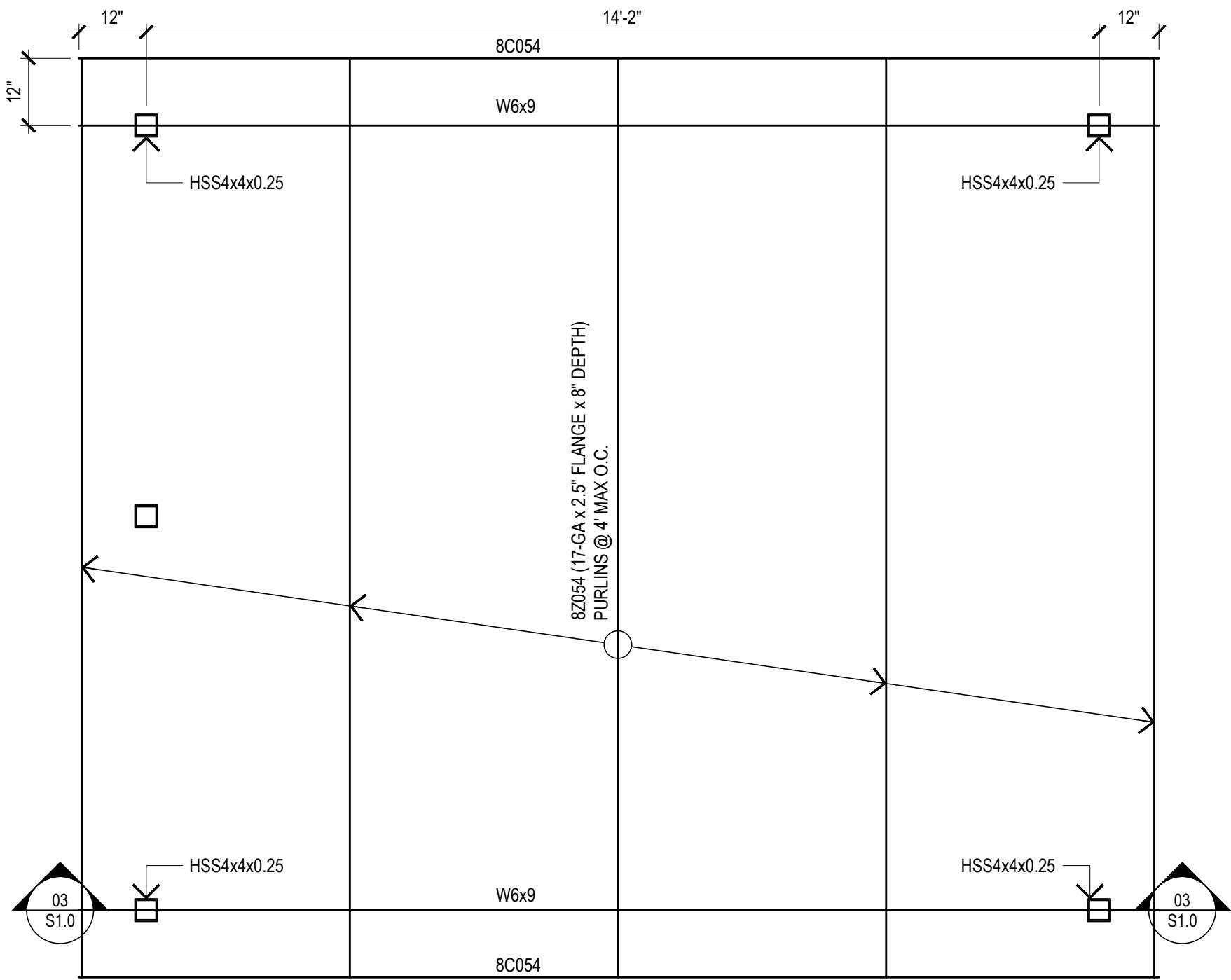
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SECTION

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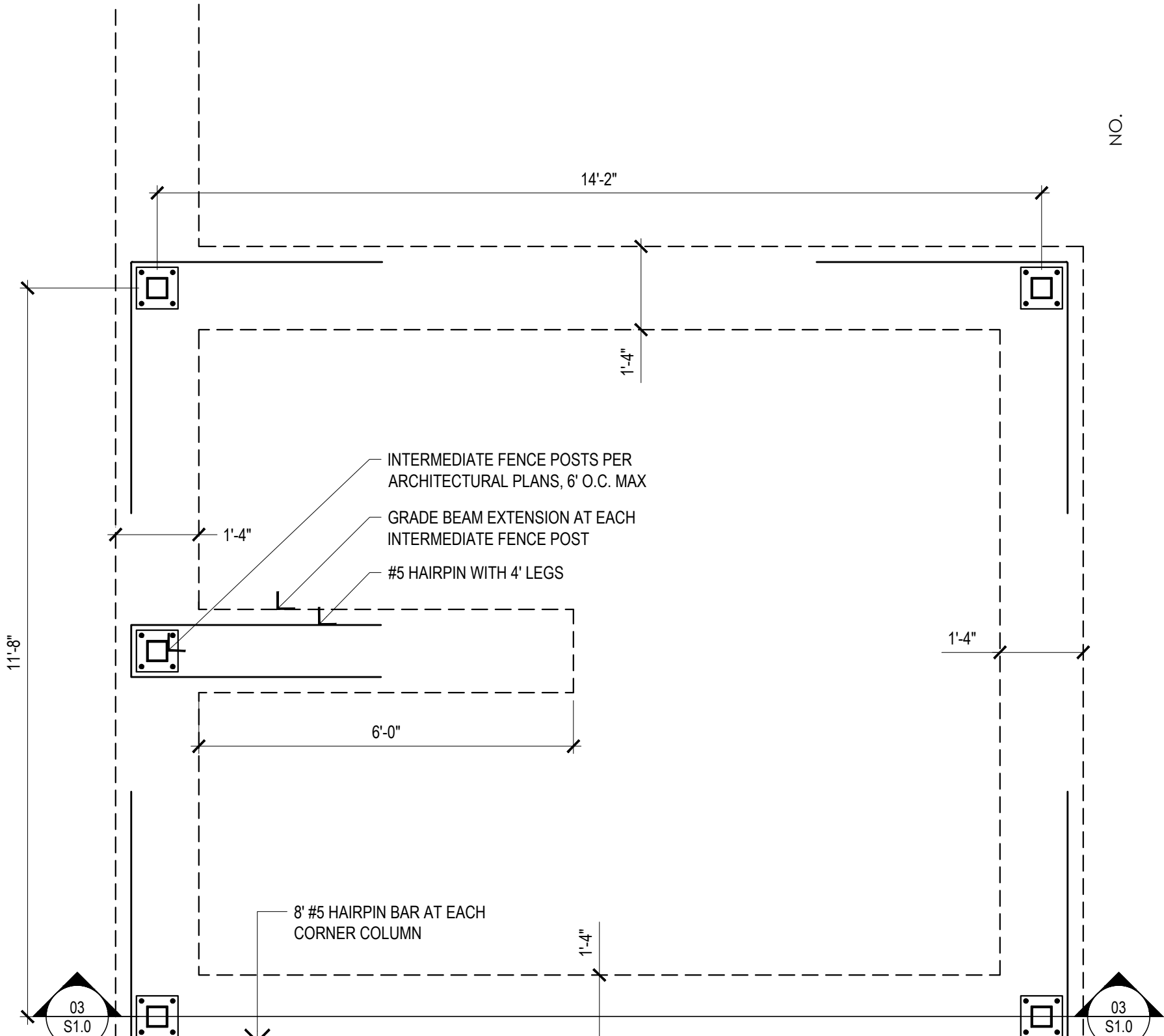
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FRAMING PLAN

SCALE: 1/2"=1'-0"

02



FOUNDATION PLAN

SCALE: 1/2"=1'-0"

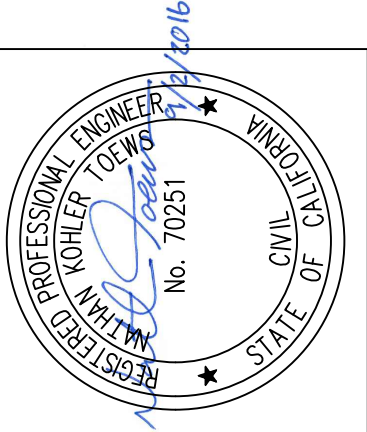
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DATE	CHK.	BY	HISTORY / REVISION

METAL BUILDING REMODEL FOR MENDOCINO COUNTY
841 LOW GAP ROAD, UKIAH, CA 95482
CANOPY STRUCTURAL PLAN
COUNTY OF MENDOCINO
501 LOW GAP ROAD, UKIAH, CA 95482

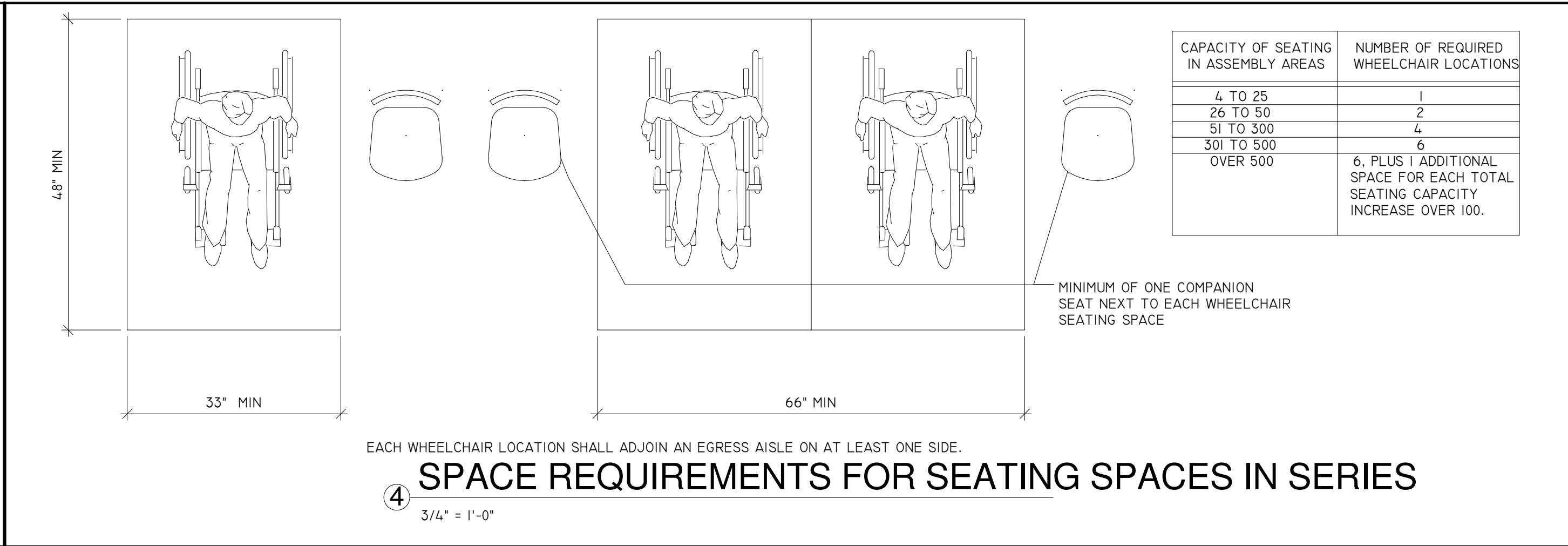
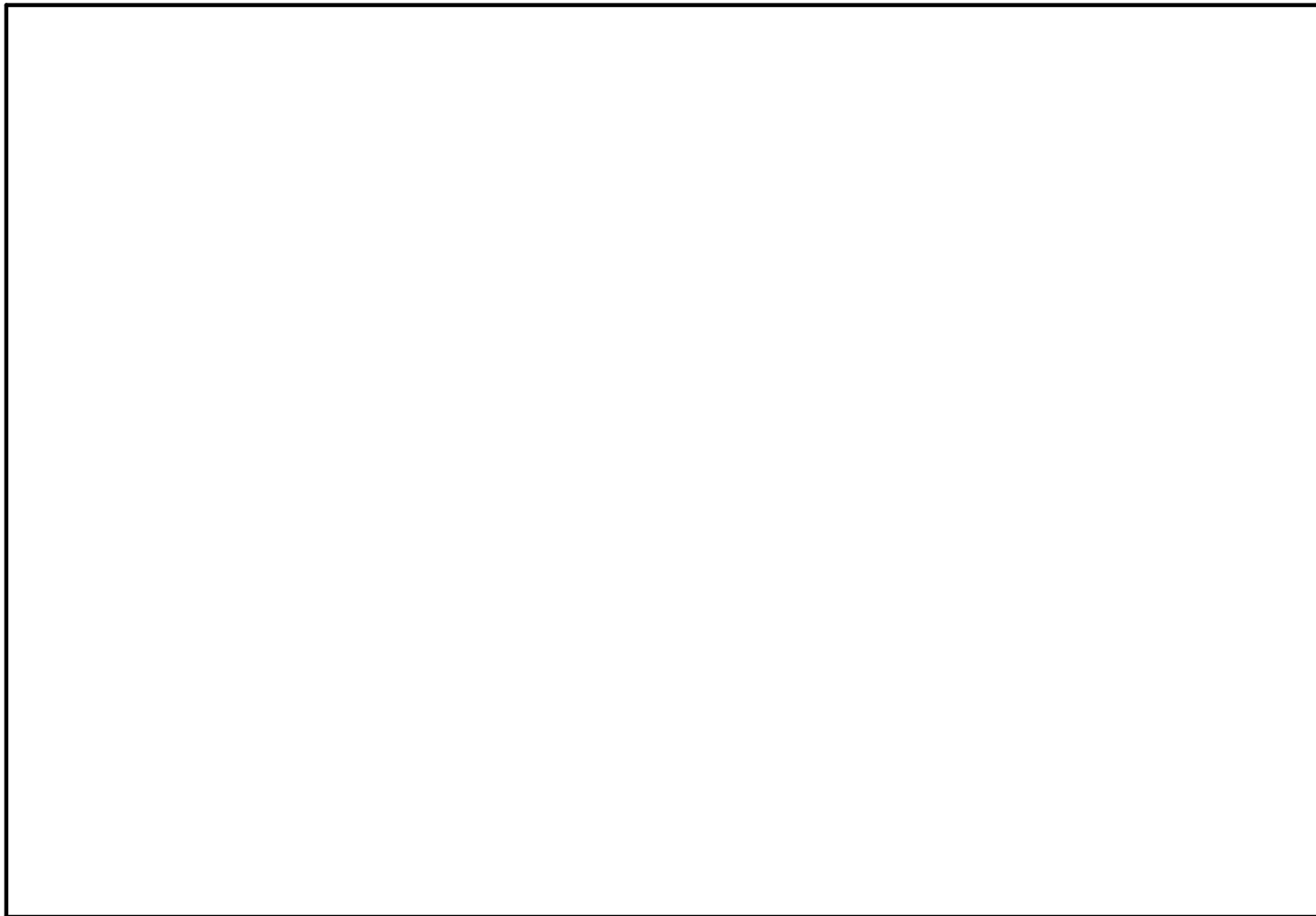
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JOB NUMBER 1611.05
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NKT-PE@OUTLOOK.COM
707-502-0582

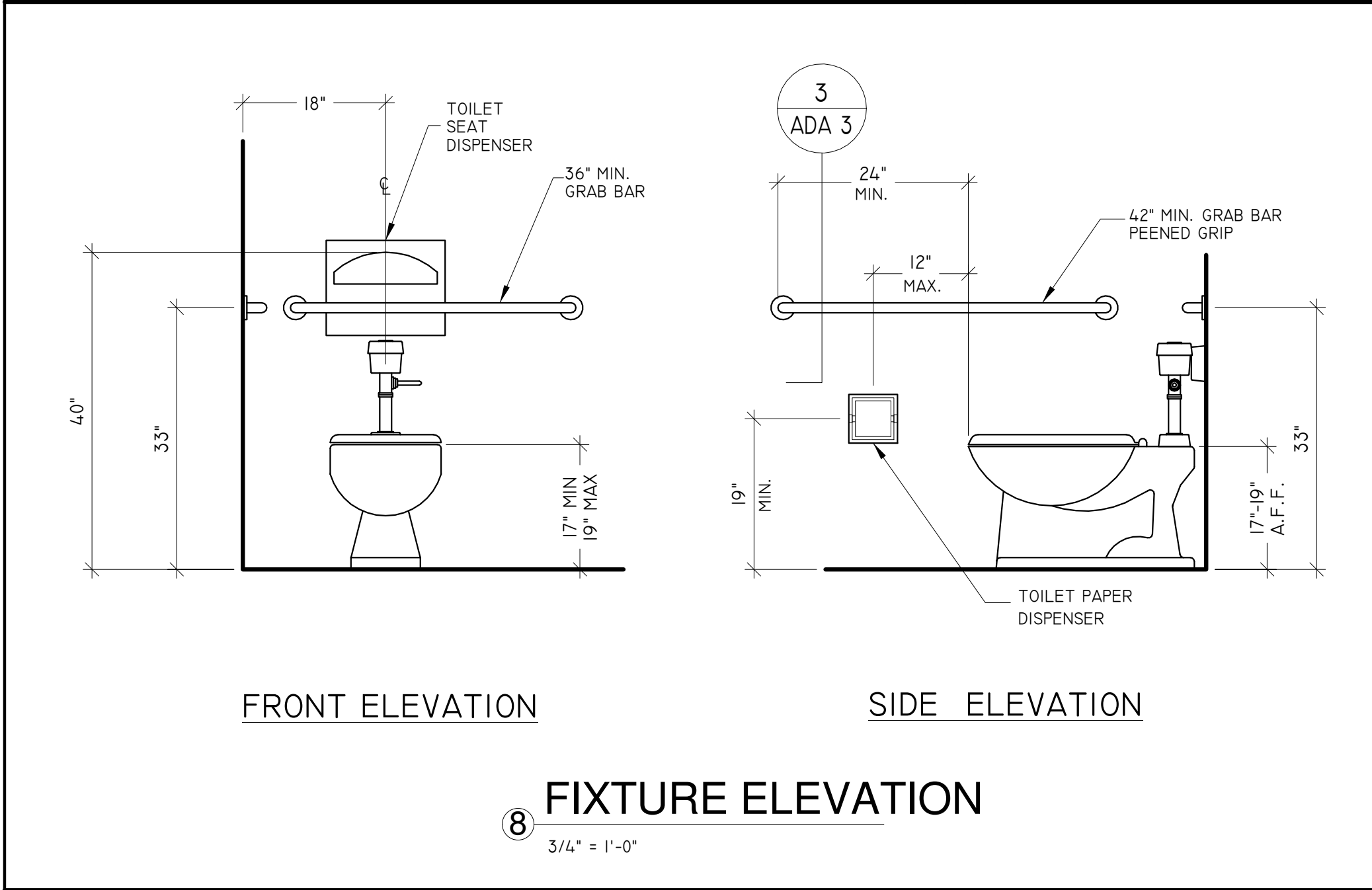
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EACH WHEELCHAIR LOCATION SHALL ADJOIN AN EGRESS AISLE ON AT LEAST ONE SIDE.

4 SPACE REQUIREMENTS FOR SEATING SPACES IN SERIES

3/4" = 1'-0"

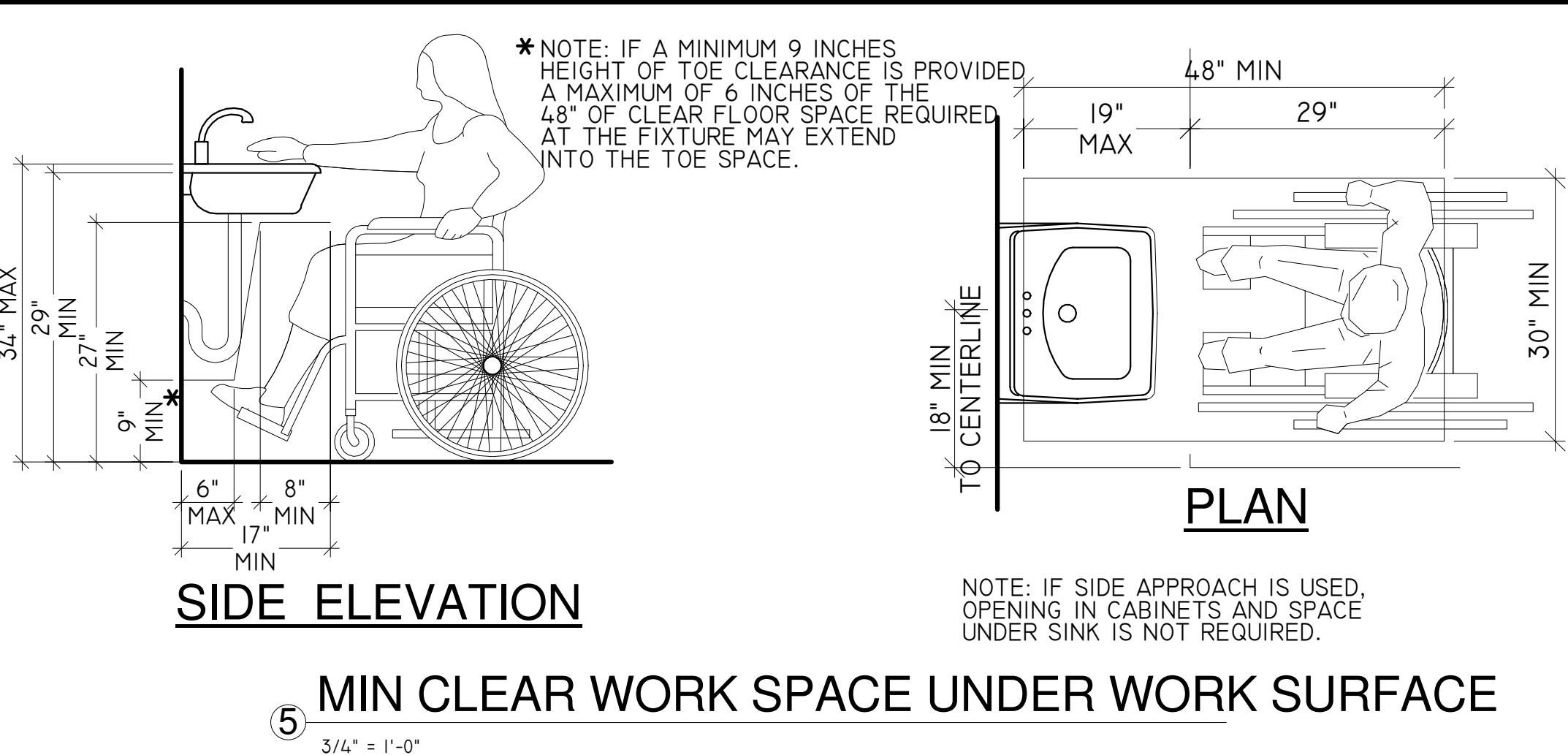


FRONT ELEVATION

SIDE ELEVATION

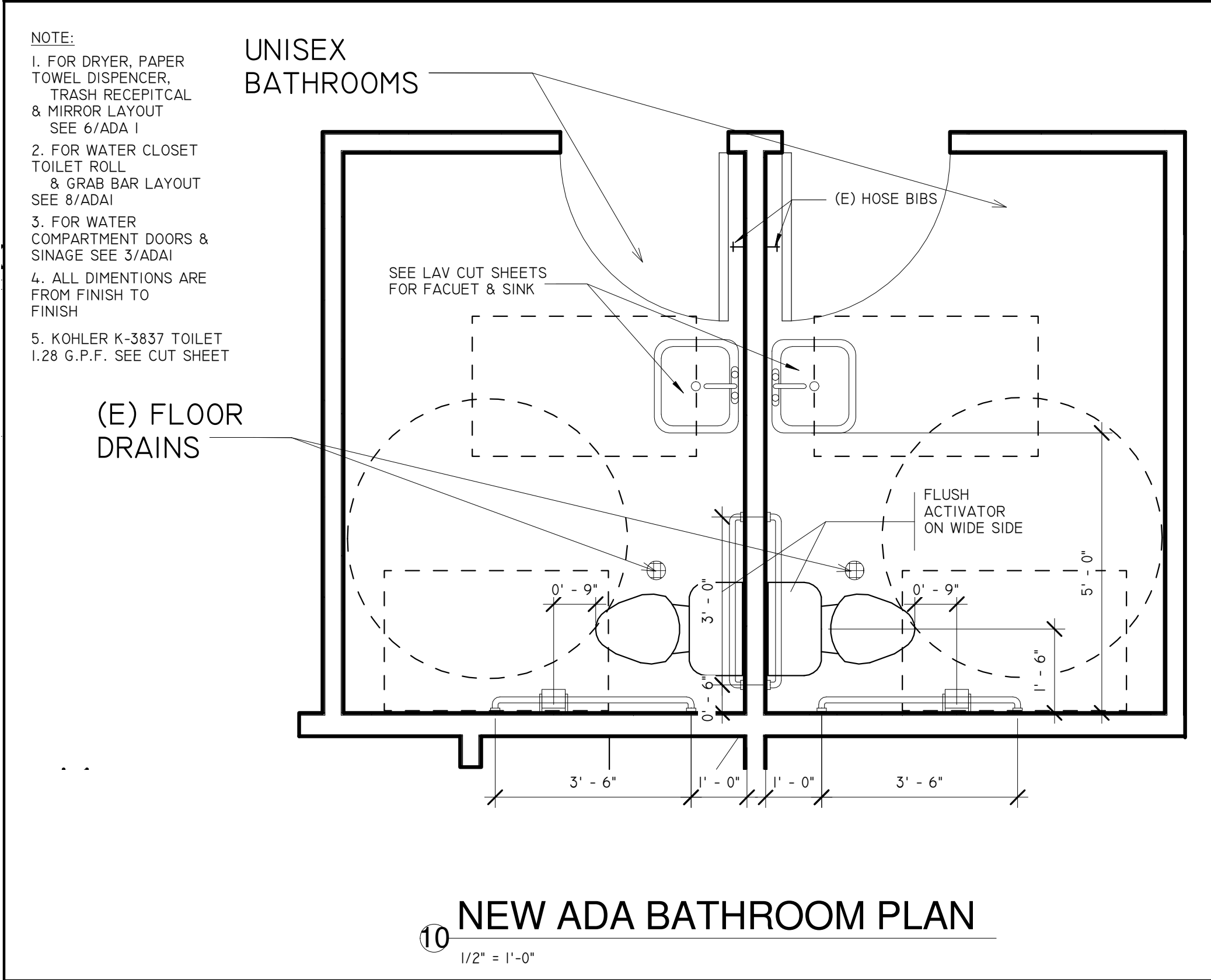
8 FIXTURE ELEVATION

3/4" = 1'-0"



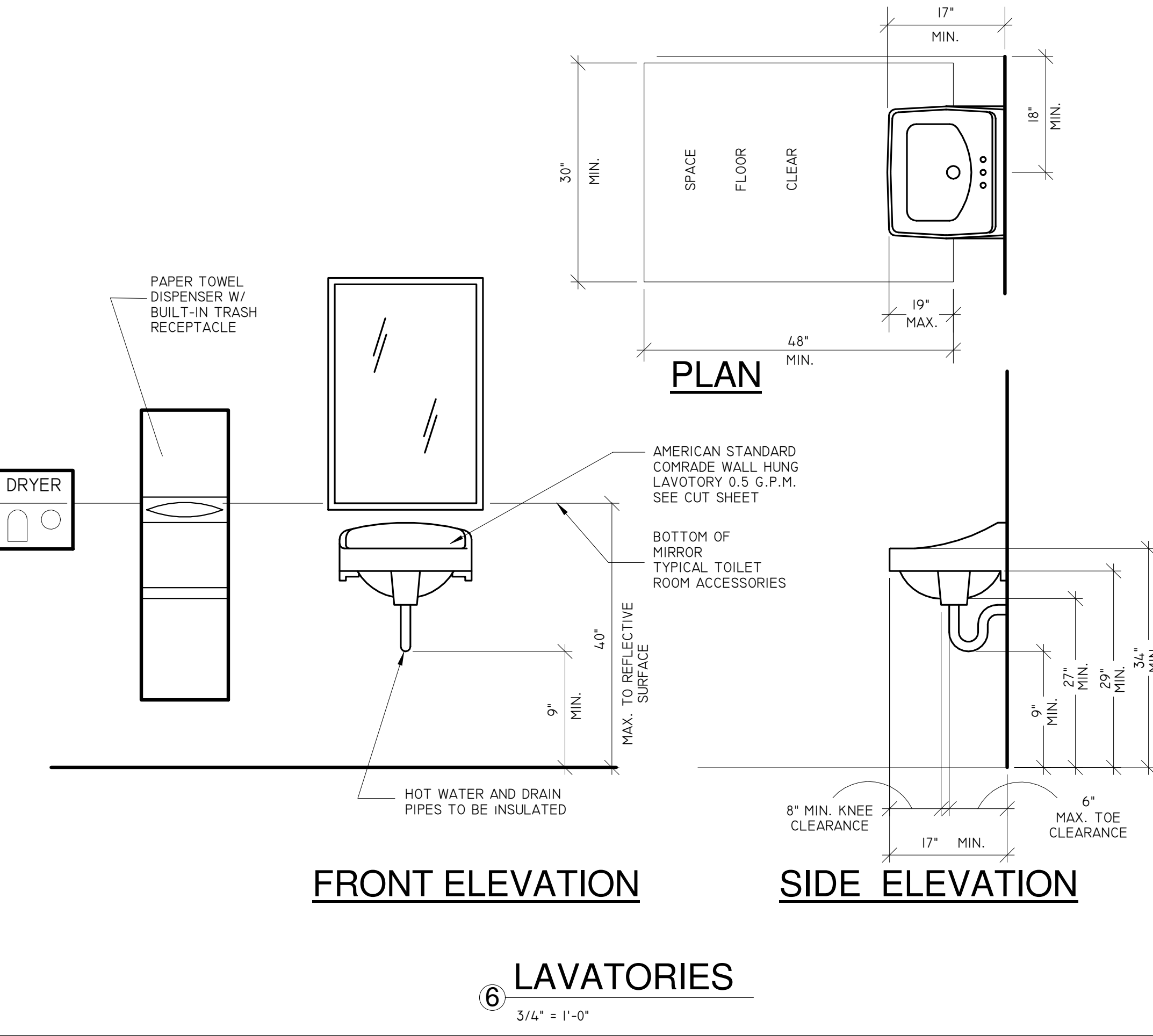
5 MIN CLEAR WORK SPACE UNDER WORK SURFACE

3/4" = 1'-0"



10 NEW ADA BATHROOM PLAN

1/2" = 1'-0"



FRONT ELEVATION

SIDE ELEVATION

6 LAVATORIES

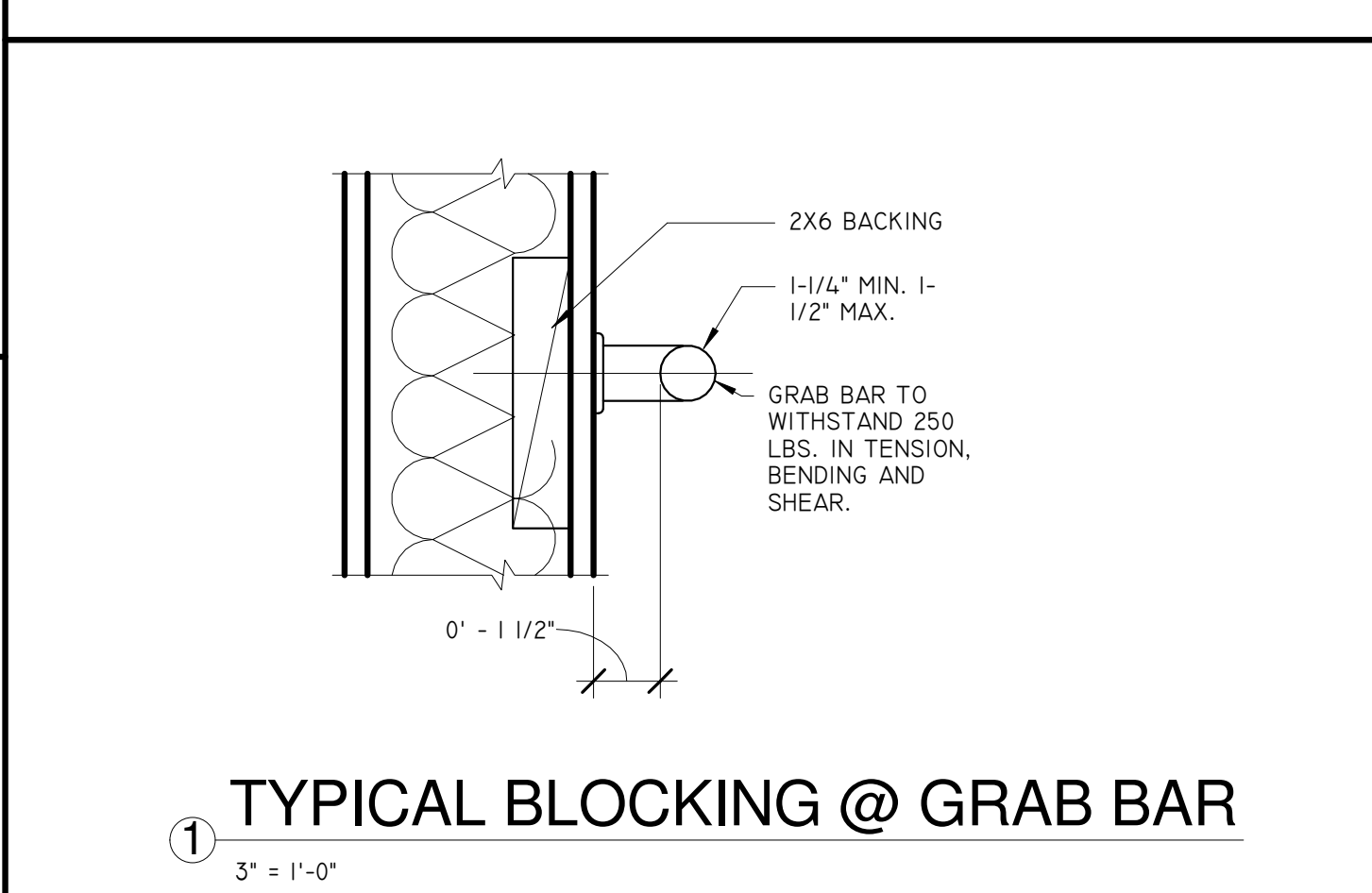
3/4" = 1'-0"

KEY NOTES

1. COMPARTMENT DOORS

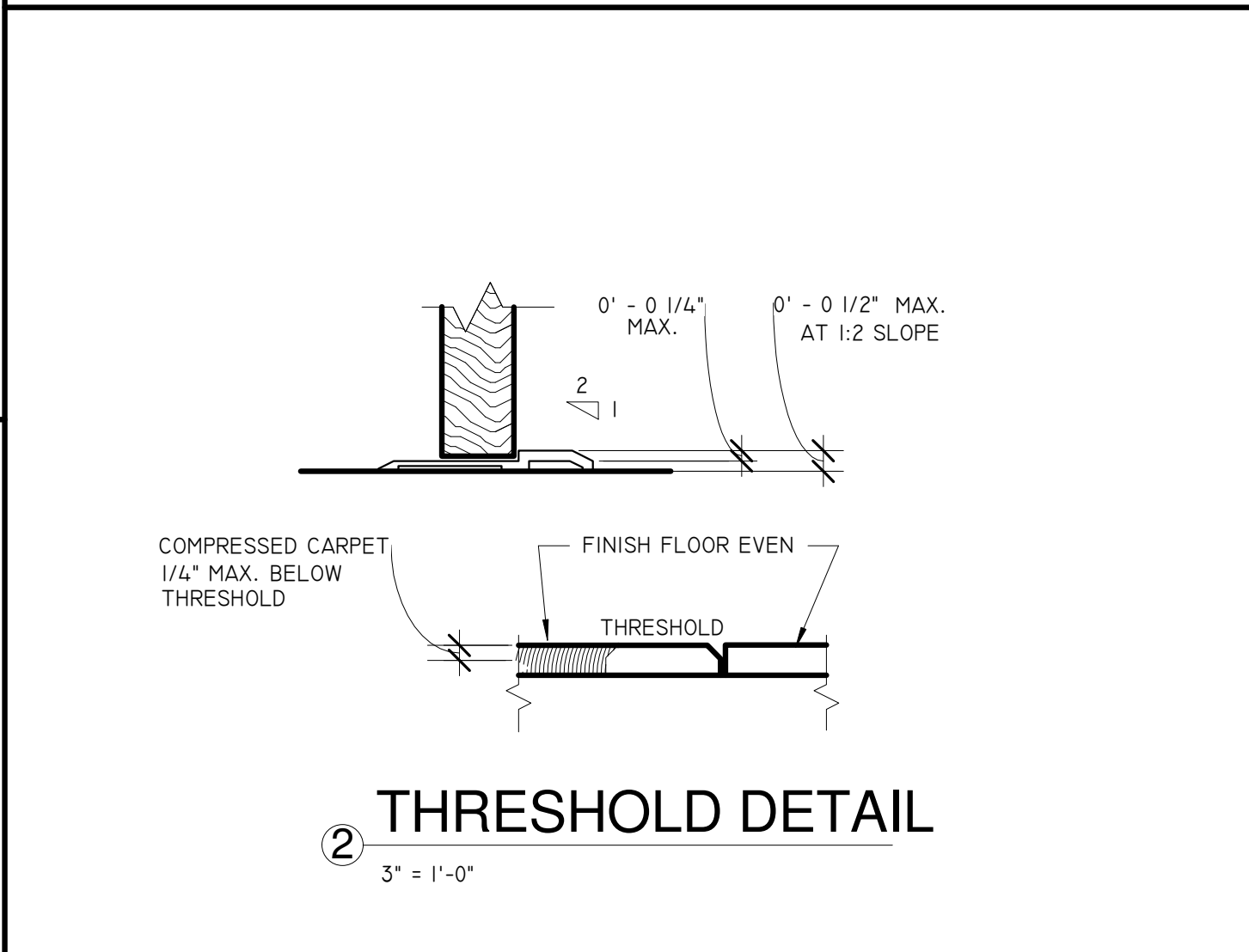
WATER CLOSET COMPARTMENT SHALL BE EQUIPPED WITH AN AUTOMATIC CLOSING DEVICE AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WHEN LOCATED AT THE END AND 34 INCHES WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90° FROM IT'S CLOSED POSITION. WHEN STANDARD COMPARTMENT DOORS ARE USED, WITH A MINIMUM 9" CLEARANCE FOR FOOTRESTS UNDERNEATH AND A SELF-CLOSING DEVICE, CLEARANCE AT THE STRIKE EDGE IS NOT REQUIRED.

THE INSIDE AND OUTSIDE OF THE COMPARTMENT DOORS TO DISABLED ACCESSIBLE STALLS MUST BE EQUIPPED WITH A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE LATCH MUST BE FLIP-OVER STYLE, SLIDING OR OTHER HARDWARE NOT REQUIRING THE USER TO GRASP OR TWIST. OPENING HARDWARE IS CENTERED BETWEEN 30" TO 44" ABOVE FINISH FLOOR. EXCEPT FOR DOOR-OPENING WIDTHS AND DOOR SWINGS, A CLEAR, UNOBSTRUCTED ACCESS OF NOT LESS THAN 44 INCHES SHALL BE PROVIDED TO WATER CLOSET COMPARTMENTS DESIGNED FOR USE BY PERSONS WITH DISABILITIES AND THE SPACE IMMEDIATELY INFRONT OF A WATER CLOSET COMPARTMENT SHALL NOT BE LESS THAN 48" AS MEASURED AT RIGHT ANGLES TO COMPARTMENT DOOR IN IT'S CLOSED POSITION.



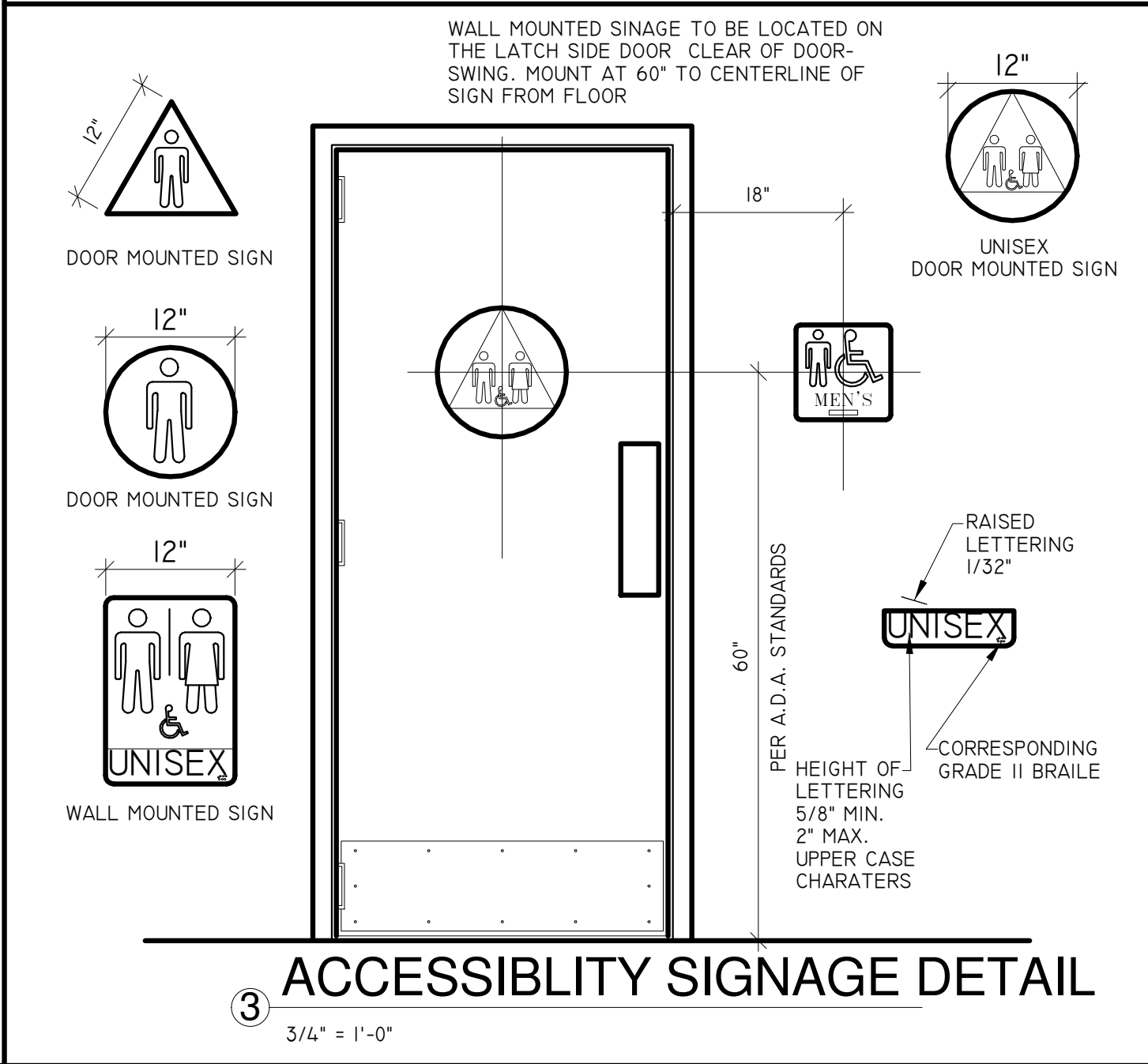
1 TYPICAL BLOCKING @ GRAB BAR

3" = 1'-0"



2 THRESHOLD DETAIL

3" = 1'-0"



3 ACCESSIBILITY SIGNAGE DETAIL

3/4" = 1'-0"

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NO. C11736
REN. 11-30-17
STATE OF CALIFORNIA

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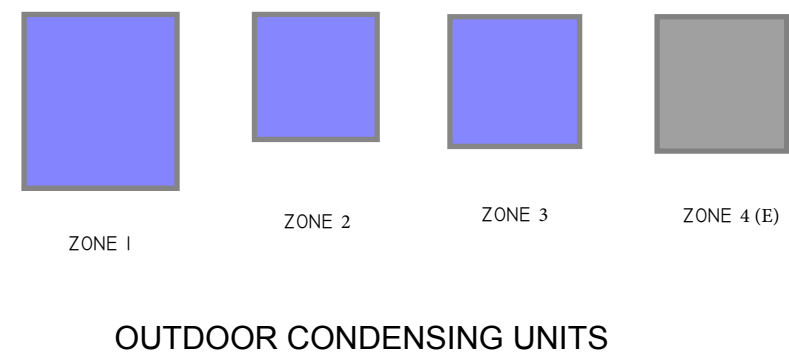
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DISABLED ACCESSIBILITY DETAILS

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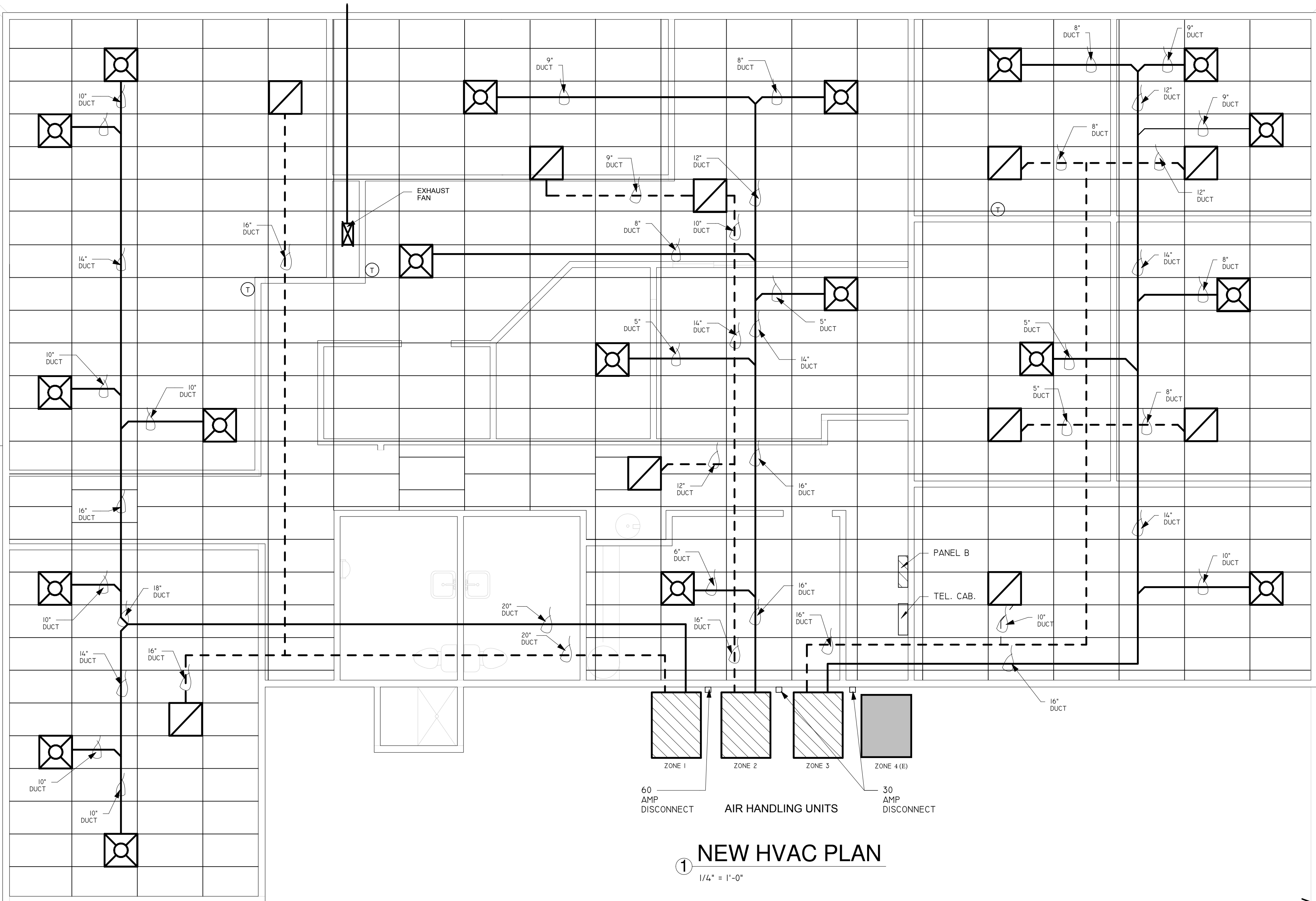
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FENCED AREA

COVERED CANOPY



- NOTES:**
1. IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY THAT AT LEAST A MERV OF 8.
 2. REMOVE EXISTING HVAC SYSTEM ZONES 1, 2 AND 3 INCLUDING ALL EQUIPMENT, DUCTWORK, DAMPERS AND CONTROLS.
 3. PROVIDE NEW DELTA TEMPERATURE CONTROL SYSTEM FOR ALL UNITS - CONTACT ENVIRONEMNTAL SYSTEMS INC. - SACRAMENTO AT 916-344-1711.

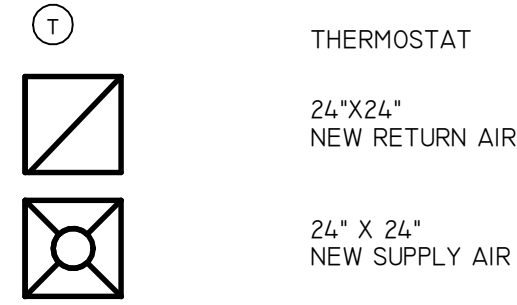
HVAC SYSTEMS

ZONE 1 TRANE: 4TTR4048LI000A
SPLIT SYSTEM COOLING

ZONE 1 TRANE: TUHIC100-SUB-1C
DIRECT NON-DIRECT VENT GAS FURNACE

ZONE 2-3 TRANE: 4TTR4025LI000A
SPLIT SYSTEM COOLING

ZONE 2-3 TRANE: TUHIB040-SUB-1C
DIRECT NON-DIRECT VENT GAS FURNACE



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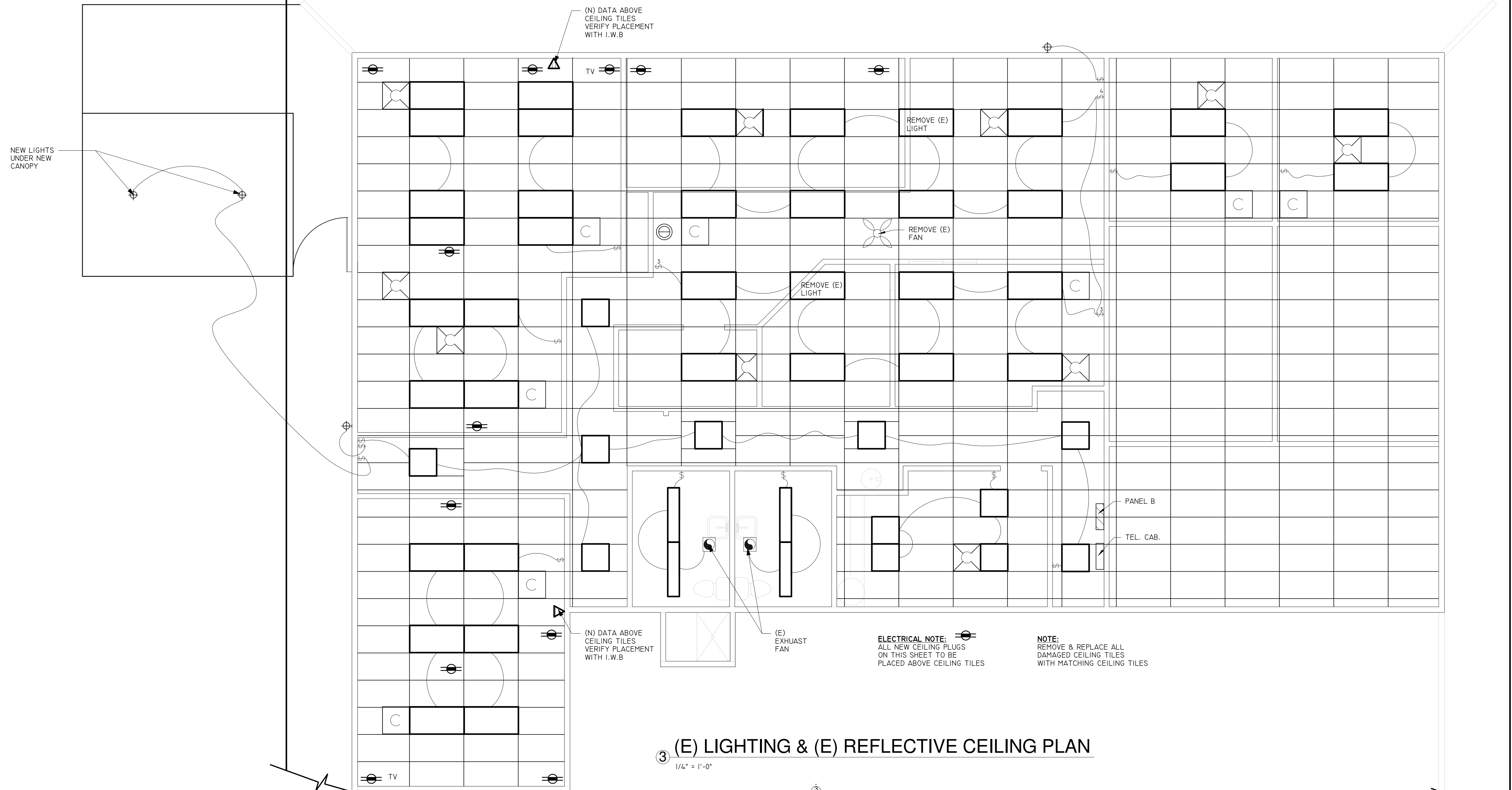
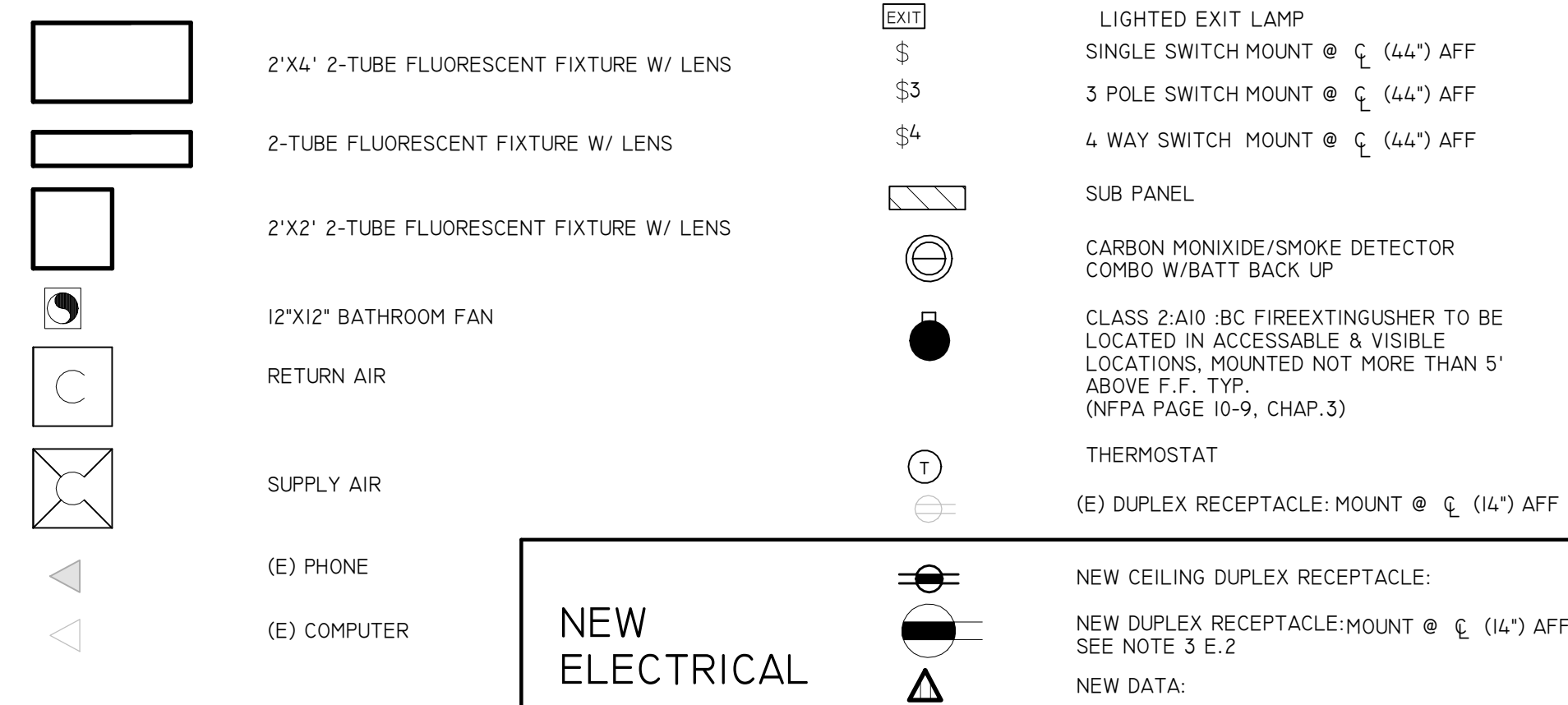
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MECHANICAL PLAN

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ELECTRICAL LEGEND




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SHEET TITLE				
(E) LIGHTING & (E) REFLECTIVE CEILING PLAN				
DRAWN BY <i>ROBFOX</i>				
CHECKED BY RPR				
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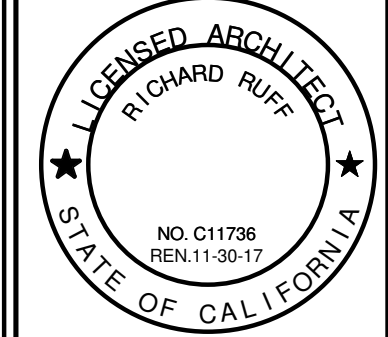
ELECTRICAL LEGEND			
	2'X4' 2-TUBE FLUORESCENT FIXTURE W/ LENS		LIGHTED EXIT LAMP
	2-TUBE FLUORESCENT FIXTURE W/ LENS	\$	SINGLE SWITCH MOUNT @ ƒ (14") AFF
	2'X2' 2-TUBE FLUORESCENT FIXTURE W/ LENS	\$3	3 POLE SWITCH MOUNT @ ƒ (14") AFF
	12'X12' BATHROOM FAN	\$4	4 WAY SWITCH MOUNT @ ƒ (14") AFF
	RETURN AIR		SUB PANEL
	SUPPLY AIR	D	DEDICATED CURCUIT
	(E) PHONE		CLASS 2:AIO :BC FIREEXTINGUISHER TO BE LOCATED IN ACCESSABLE & VISIBLE LOCATIONS, MOUNTED NOT MORE THAN 5' ABOVE F.F. TYP. (NFPA PAGE 10-9, CHAP.3)
	(E) DATA	T	THERMOSTAT
			(E) DUPLEX RECEPTACLE: MOUNT @ ƒ (14") AFF
			NEW CEILING DUPLEX RECEPTACLE: NEW DUPLEX RECEPTACLE:MOUNT @ ƒ (14") AFF SEE NOTE 3 E.2
			NEW DATA

EQUIPMENT	SCHEDULE	POWER	DATA	HEIGHT
VIDIO CONFERENCE COUNSOLE	2 DUPLEX	-	9'	
TV SCREENS	2 DUPLEX	-	9'	
INTERACTIVE WHITE BOARD	2+2 DUPLEX	2	SEE SHEET A1.3/2	
PROJECTION SCREEN	2 DUPLEX	-	9'	
PROJECTOR	2 DUPLEX	-	9'	
VIDEO CAMARA	2 DUPLEX	-	9'	
SPEAKER	-	-	-	
DATA CLOSET	4+4 FOUR PLEX	48	3'	
STUDENT DESK	ROW #4	3/4	1'-2"	
TEACHER DESK	2 DUPLEX	1	1'-2"	
PRINTER	2 DUPLEX	1	1'-2"	

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AS BUILT & NEW
POWER PLAN

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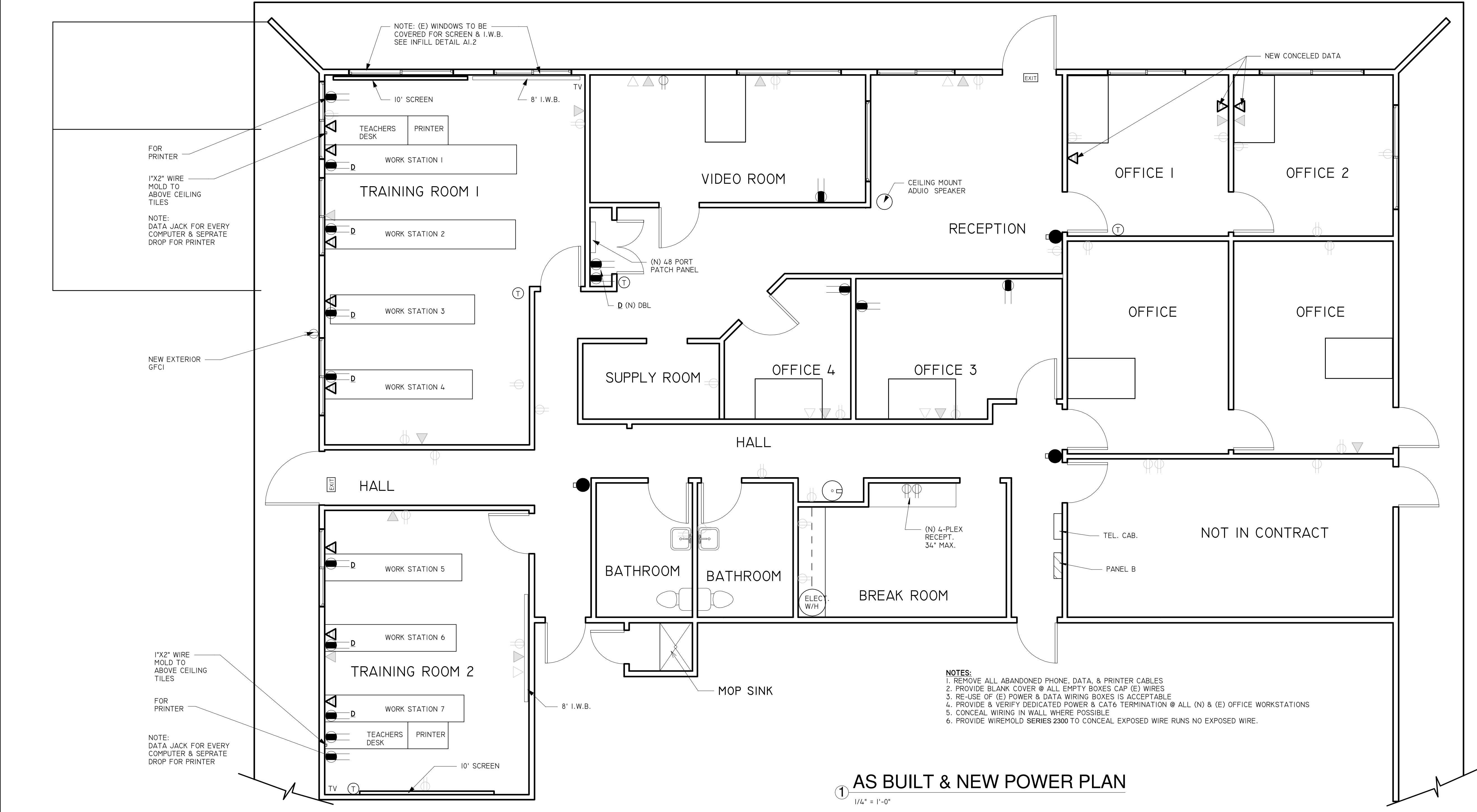
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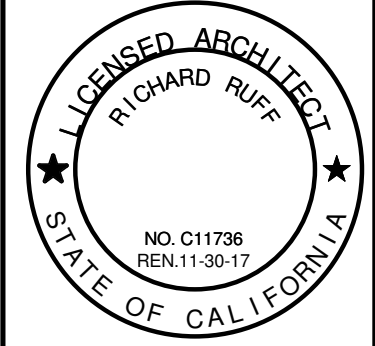
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CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance May 2015

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance May 2015

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