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## MENDOCINO HISTORICAL REVIEW BOARD STAFF REPORT

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AUGUST 7, 2017  
MHRB\_2016-0032

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**OWNER/APPLICANT/AGENT:** LOREN REX  
CALIFORNIA STATE DEPT. OF PARKS AND RECREATION  
12301 N. HIGHWAY ONE, BOX 1  
MENDOCINO, CA 95460

**PROJECT DESCRIPTION:** A Mendocino Historical Review Board Permit request to remodel a public restroom located within the Mendocino Headlands State Park, grade, and plant native and historically appropriate landscaping adjacent to the Ford House and public restroom.

**STREET ADDRESS:** 45035 Main Street (AP# 119-240-01).

**PARCEL SIZE:** 11.50 acres

**HISTORIC STRUCTURES:** On Site: Ford House, Category 1  
North: Category I Jarvis-Nichols Building  
Category IIa Drug Store-Toggery  
Category IVa Not Historic  
Category I Mendocino Hotel  
Category I Dr Milliken's Office  
Category IIa 690 Main Street  
Category S/IIb Site of Alhambra Hotel  
Category IVb Not Historic  
Category I Kelley Rental, Kelley Pond  
Category I Kelly House  
Category I Kelley Water Tower  
Category IVa Not Historic  
South: Mendocino Headlands State Park  
East: Mendocino Headlands State Park  
West: Mendocino Headlands State Park

**CEQA STATUS:** A Class 31 Categorical Exemption from the California Environmental Quality Act for restoration of a historical resource following the Secretary of the Interiors Guidelines for Preservation and Restoration of Historic Resources.

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**PAST MHRB PERMITS:** 87-16 Music Festival; 91-03 sidewalk; 00-51 migration marker; 02-17 demo movie set water tank; 08-14 sidewalk; 08-32 interpretive sign; 2016-03 Carriage House; and 2016-19 Carriage House.

**HISTORIC ORDINANCE STANDARDS:** The Mendocino Historical Preservation District Ordinance provides standards for the MHRB to consider when reviewing applications. Relative to this application, the following issues are raised and should be addressed:

- |   |                    |
|---|--------------------|
| Building Size, Height, Proportions and Form     | Roof Shape         |
| Relationship of Building Masses and Open Spaces | Color(s)           |
| ✓ Relationship to Surrounding Structures        | Sign Size          |
| ✓ Materials and Textures                        | Number of Signs    |
| ✓ Architectural Details and Style               | Placement/Location |
| Facade Treatment                                | Lighting           |

✓ Proportions of Windows and Doors  
Landscaping

Paving/Grading

**APPLICABLE SECTIONS OF MHRB GUIDELINES:** Reconstructions (Page 9), Demolition (page 10).

VI.3. SITE DEVELOPMENT GUIDELINES reads: "The orientation, setback alignment, space and placement of a building on site will be considered with special consideration given to the retention of natural topography and vegetation. All structural landscape elements and fences will be considered.

**STAFF NOTES:** The applicant requests to make exterior alterations to the existing public restroom, including: enclosing the porch, creating area for and installing trash and recycle bins, reconfiguring the interior floor plans and adding exterior egress points (doors), and adding new gabled roofs below the existing roof. The proposal also includes establishing ADA-compliant pathways adjacent to the public restroom and Ford House; landscaping with native plants approximate to the public restroom and establishing a historically appropriate garden around the Ford House. While the Design Guidelines do not address landscaping and the Mendocino Town Zoning Code does not require a MHRB Permits to landscape, the Review Board does have purview over sidewalks and driveways. Staff recommends Condition 5, which would allow the property owner assurance that the conditions of this permit have been satisfied even when a Building Permit is not required.

This item is continued from April 3, 2017. In response to Review Board Comments, the applicant filed additional details regarding the proposed bathroom remodel. The revised sheets are Ford House Restroom Remodel Sheet A0 and A3. The revised drawings include the following additional details:

- Salt-washed concrete, warm grey
- Low watt LED downcast path lights
- Proposed JELD-WEN "Siteline" replacement windows
- Painted wood trim to match existing
- New solid wood doors, JELD-WEN "Authentic Wood" painted
- and others

For reference, also see exhibits A through F.

In addition to the previously proposed landscaping, the property owner proposes an ADA compliant pathway adjacent to the Carriage House; this pathway would extend from the street facing side of the Carriage House, along the east side of the structure, to the door facing Mendocino Bay (See Ford Carriage House Sheet A1.2).

**REQUIRED FINDINGS:** The Review Board shall not approve or conditionally approve any application for proposed work unless it affirmatively makes the following findings:

- (a) The exterior appearance and design of the proposed work is in harmony with the exterior appearance and design of the existing structures within the District and with that of existing subject structure, if any; and
- (b) The appearance of the proposed work will not detract from the appearance of other property within the District; and
- (c) Where the proposed work consists of alteration or demolition of an existing structure, that such work will not unnecessarily damage or destroy a structure of historical, architectural or cultural significance.

**STANDARD CONDITIONS:**

1. This action shall become final and effective on the 11<sup>th</sup> day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except

where construction and or use of the property in reliance on such permit has been completed prior to its expiration.

2. The application along with supplemental exhibits and related material shall be considered elements of this permit, and compliance therewith is mandatory.
3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division.
4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
  - a. That such permit was obtained or extended by fraud.
  - b. That one or more of the conditions upon which such permit was granted have been violated.
  - c. A final judgment of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
5. To establish that site-work satisfies the requirements of MHRB Permit 2016-0032 and the Review Board's action, the property owner shall request a Planning and Building Services Final Inspection prior to the expiration of this permit. Prior to this MHRB Permit's expiration (if no Building Permit is obtained) and at the request of the property owner, PBS will furnish, following a site inspection of completed work, a functionally equivalent document demonstrating that the requirements of MHRB Permit 2016-0032 have been satisfied.
6. Any Building Permit request shall include MHRB Permit #2016-0032 (attached to or printed on the plans submitted).

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The Review Board's action and this permit will not be final and effective and work may not commence on the project until after a ten day appeal period has ended. You will be notified if a timely appeal is filed.

Appeal Fee: \$1,616.00 (Check payable to County of Mendocino).

Appeal Period: Appeals must be received within 10 days of Review Board Action.

**COUNTY OF MENDOCINO  
DEPT. OF PLANNING & BUILDING  
SERVICES**

**120 WEST FIR STREET  
FORT BRAGG, CA 95437  
Telephone: 707-964-5379  
Fax: 707-961-2427**

Case No(s)

MHRB-2016-0032

Date Filed

12/12/2016

Fee \$

600.00

Receipt No.

13439

Received by

JA

Office Use Only

**MHRB APPLICATION FORM**

Name of Applicant

CA State Parks - Loren Rex

Name of Property Owner(s)

Name of Agent

Mailing Address

12301 N. Hwy 1 Box 1  
Mendocino CA 95460

Mailing Address

Mailing Address

Telephone Number

707-937-3118

Telephone Number

Telephone Number

Assessor's Parcel Number(s)

11924001

Parcel Size

☐ Square Feet

11.5

☒ Acres

Street Address of Project

45035 MAIN ST MENDOCINO, CA 95460

**TYPE OF DEVELOPMENT**

(Check appropriate boxes)

- ☐ Demolition. Please indicate the type and extent of demolition. (see next page)
- ☐ Construction of a structure.
- ☒ Addition to a structure.
- ☒ Alteration of exterior of structure.
- ☐ Construction, installation, relocation or alteration of outdoor advertising sign.
- ☒ Outdoor lighting.
- ☒ Walkways, driveways, parking areas, and grading.
- ☐ Exterior painting of a structure.
- ☐ Other.

# PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information to the Planning & Building Services Department and the MHRB. Please answer all questions. For those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A". **NOTE: The more complete and clear the submitted information, the more quickly your application can be processed.**

## 1. Describe your project in detail.

- **For demolition**, identify the items to be demolished, the percentage of the structure(s) to be demolished, and explain reason for demolition.
- **For new signs**, provide scaled drawings, describe wording, dimensions, materials, colors, and mounting detail. Indicate specific location on site plan.
- **For new copy on existing signs**, provide wording, graphics, font style, colors, and photographs of existing sign(s).
- **For exterior painting**, describe existing and proposed colors. Provide paint chips for proposed colors.
- **For exterior lighting**, include description/detail of fixtures and indicate locations on the site plan.
- **For new construction**, additions or architectural alterations, include plans, elevations, dimensions, height(s), materials, colors, finishes, trim and window details, walkways and paving locations.
- **For walkways, driveways, paving and grading**, provide dimensions, location and materials.

CA Department of Parks and Recreation(DPR) in partnership with the Mendocino Area parks Association(MAPA) plans to remodel the Ford House rest room to bring it up to ADA compliance and redesign for functionality and maintainability. The project also a planting plan for historically appropriate plants and a grading plan to protect the historic structure.

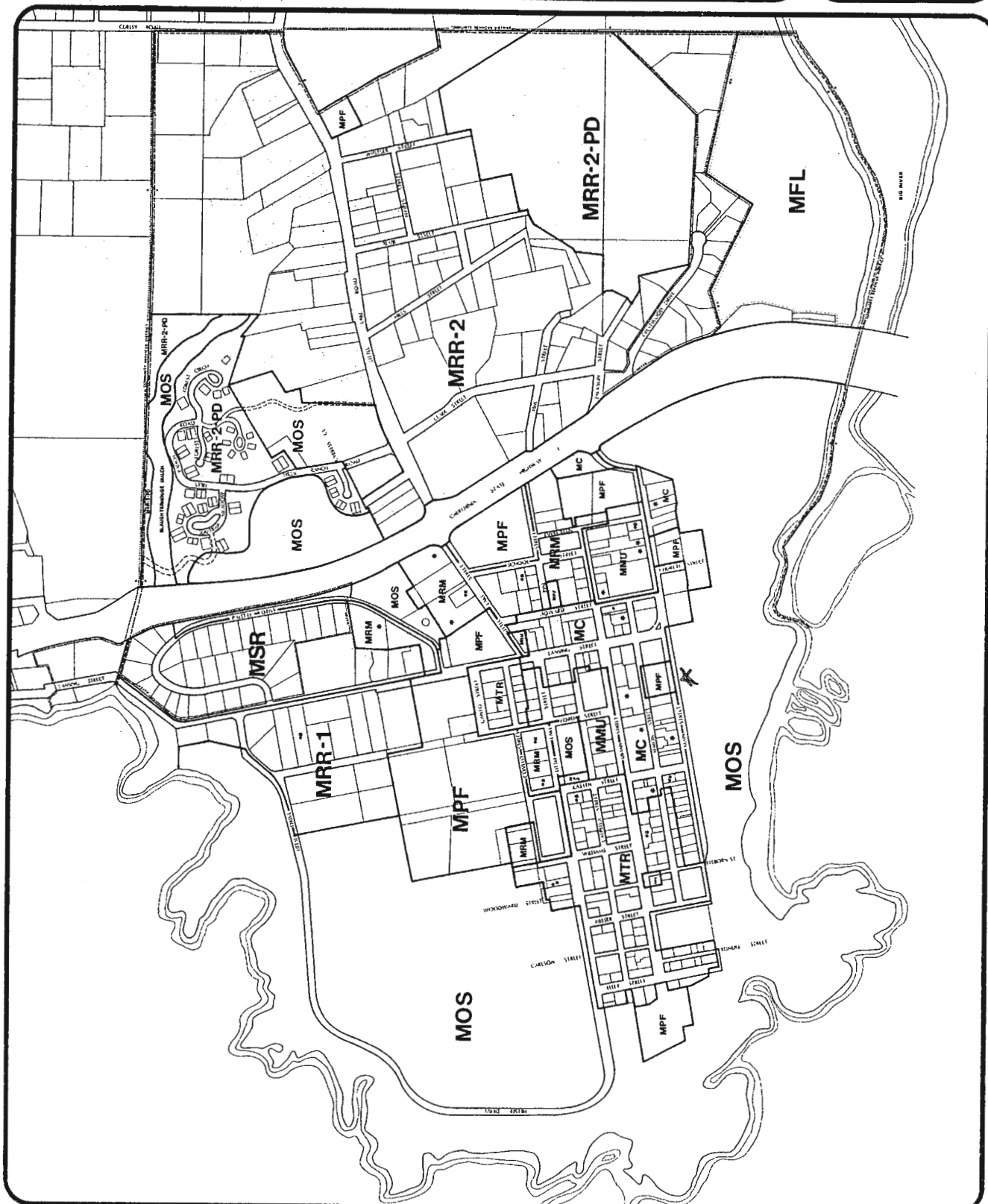
## 2. If the project includes new construction, please provide the following information:

- What is the total lot area presently covered by building(s), decks, walkways, water tanks, and other structures? 5000 sq. ft.
- What is the total floor area (internal) of all structures on the property? 5800 sq. ft.
- If located within the Mendocino Mixed Use (MMU) zoning district, What is the total floor area on the parcel that is devoted to residential use? \_\_\_\_\_ sq. ft.

*If you need more room to answer any question, please attach additional sheets*

ADOPTED BY THE BOARD OF SUPERVISORS  
January 23, 1995

ADOPTED BY THE BOARD OF SUPERVISORS  
January 23, 1995





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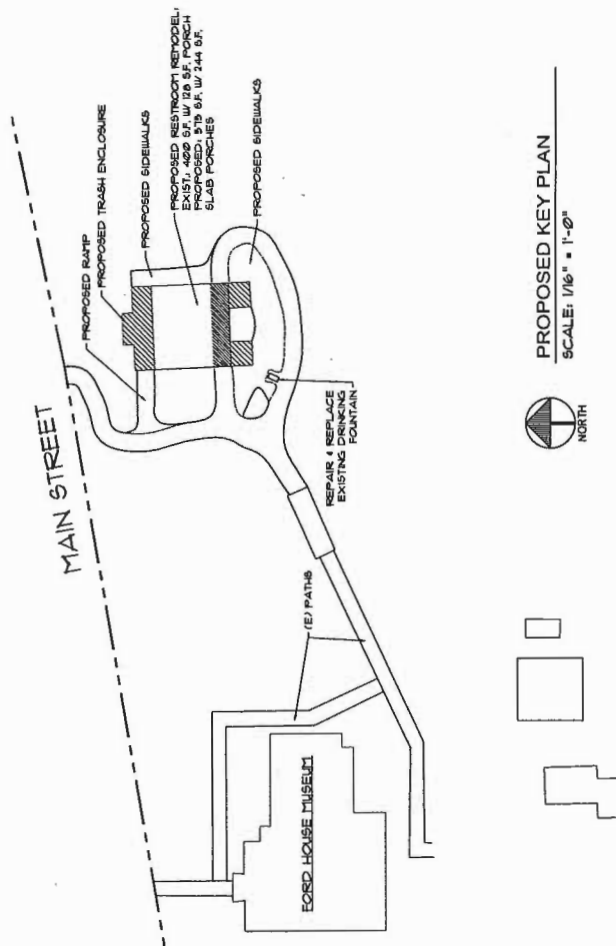
ABBREVIATIONS:		ABOVE FINISHED FLOOR	
•	AT		
BK.	BEAM		
BLK.	BLOCKING		
B.M.C.	BABY CHANGING TABLE		
C.T.	CURTAIN		
C.C.	CABINET		
C.J.	CEILING JOISTS		
CONC.	CONCRETE		
COMP.	COMPOSITION		
C.S.	CHILD SEAT		
C.T.	COLLAR TIES		
DBL.	DOUBLE		
D.P.	DONGLAS FIR		
D.C.	DRAIN		
EACH	EACH		
ELEV.	ELEVATION		
(E), EXIST.	EXISTING		
EQV.	EQUIVALENT		
F.D.	FLOOR DRAIN		
F.F.	FINISHED FLOOR		
F.N. SLAB	FINISHED SLAB		
F.O.S.T.	FACE OF STUD		
F.O.S.L.	FACE OF SLAB		
F.O.W.	FACE OF WALL		
F.D.N.	EQUAL		
FT.	FOOT		
FTG.	FOOTING		
GALV.	GALVANIZED		
G.D.	GARBAGE DISPOSER		
G.P.	GYPSON BOARD		
GR.	GRASS		
H.T.	HEIGHT		
H.D.	HAND DRYER		
INSUL.	INSULATION		
LAV.	LAVATORY		
L.C.	LOW COUNTRY		
M.M.	MINIMUM		
MFR.	MANUFACTURER		
M.T.L.	METAL		
M.T.S.	NOT TO SCALE		
(N)	NEW		
O/C	ON CENTER		
OP.	OPENING		
OPF.	OPEN POST CAP		
P.C.	POST		
P.B.	POST BASE		
P.L.D.	PLYWOOD		
P.T.	PRESSURE TREATED		
R.	RECYCLE		
REFRIG.	REFRIGERATOR		
ROOF.	REDWOOD		
R.O.	ROOFING		
R.O.C.	ROOFING		
SHT.	SHEET		
S.	SNK		
S.D.	SOAP DISPENSER		
S.F.	SQUARE FOOT		
S.S.	STAINLESS STEEL		
T.B.	TRASH		
T.B.	TO BOTTOM		
T.B.D.	TO BE DETERMINED		
T.O.G.	TONGUE & GROOVE		
T.O.S.H.	TOP OF SLAB		
T.O.S.L.	TOP OF SHEATHING		
T.O.R.	TOP OF ROOF		
T.O.W.	TOP OF WALL		
TYP.	TYPICAL		
THK.	THICKNESS		
U.	UNUSUAL		
V.	OTHERWISE NOTED		
V.F.	VIBRITY IN FIELD		
W.M.	WOVEN WIRE MESH		
W.P.	WATERPROOF		
W.C.	W.C. TOILET		
W/C.	WITH		

APPLICABLE CODES

TITLE 19. CCR. PUBLIC SAFETY. 601 REGULATIONS  
2013 CA ADMINISTRATIVE CODE TITLE 24, PT. 1  
2013 CA BUILDING CODE (CBC) TITLE 24, PT. 2  
2013 CA ELECTRICAL CODE (CEC) TITLE 24, PT. 3  
2013 CA MECHANICAL CODE (CMC) TITLE 24, PT. 4  
2013 CA PLUMBING CODE (CPC) TITLE 24, PT. 5  
2013 CA ENERGY CODE (CEC) TITLE 24, PT. 6  
2013 CA FIRE CODE (FC) TITLE 24, PT. 7  
2013 CA GREEN BUILDING STANDARDS TITLE 24, PT. 11  
2013 CA REFERENCED STANDARDS TITLE 24, PT. 12

CA FIRE MARSHALL FILE # 0123-11-0001

INDEX OF DRAWINGS:	
TT	VEHICUT MAP, KEY PLAN + PROJECT INFORMATION
A0	THE PLAN
A1	EXISTING FLOOR PLAN + ELEVATIONS
A21	REPRODUCTION OF FLOOR PLAN + DETAILS
A22	REFLECTED CLG + ROOF PLANS
A3	WINDOW + DOOR SCHEDULES + DETAILS
A4	EXTERIOR ELEVATIONS
A5	INTERIOR ELEVATIONS
A6	ACCESSIBILITY REQUIREMENTS
A7	BUILDING SECTIONS
A8	ARCHITECTURAL DETAILS
FE1	MECHANICAL PLAN + DETAILS
FE1	PLUMBING PLAN + DETAILS
S1	FOUNDATION PLAN + DETAILS
S2	ROOF FRAMING PLANS + DETAILS
S3	STRUCTURAL DETAILS
S4	SPECIFICATIONS
S42	SPECIFICATIONS
C1	GRADING PLAN



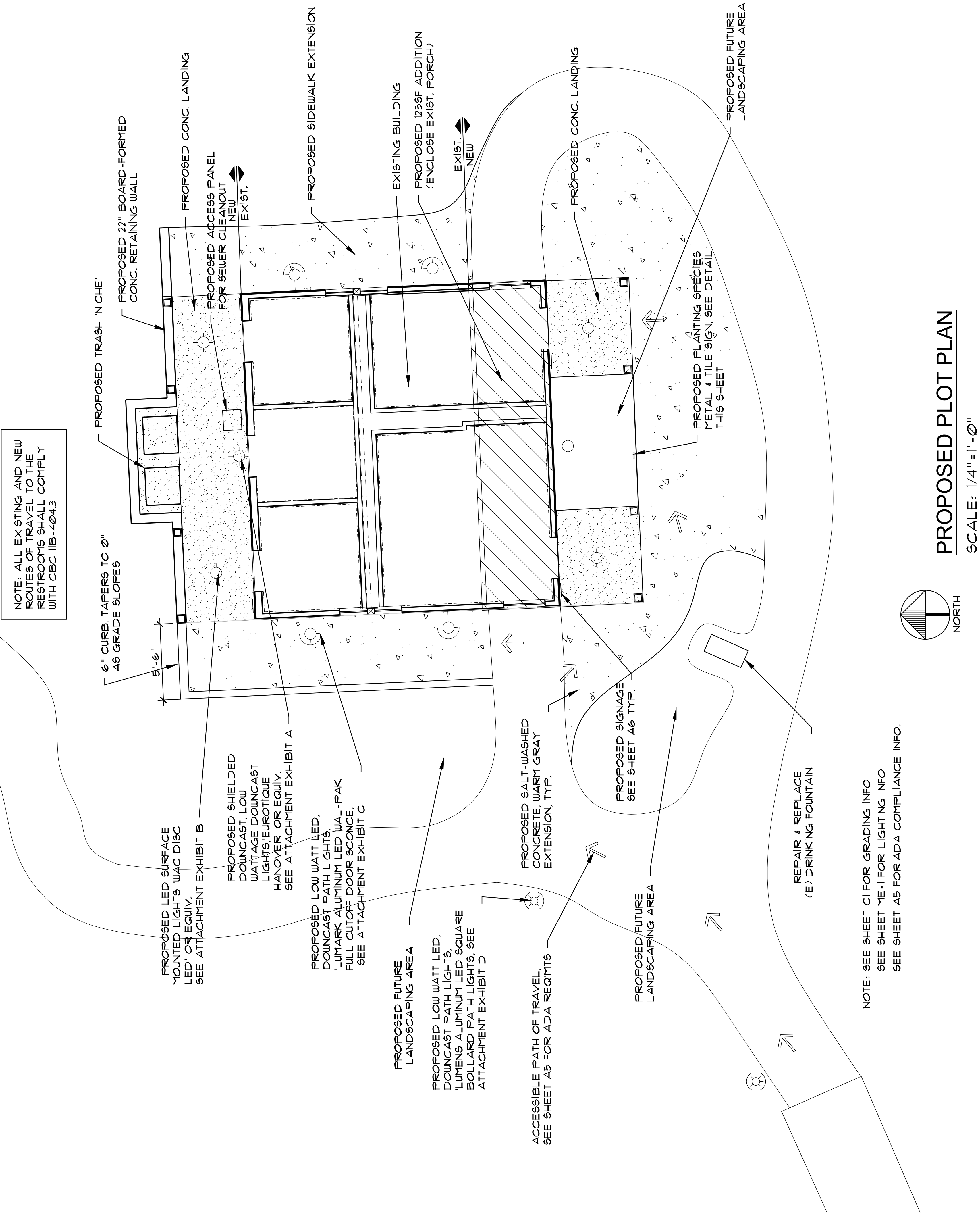
PROPOSED KEY PLAN

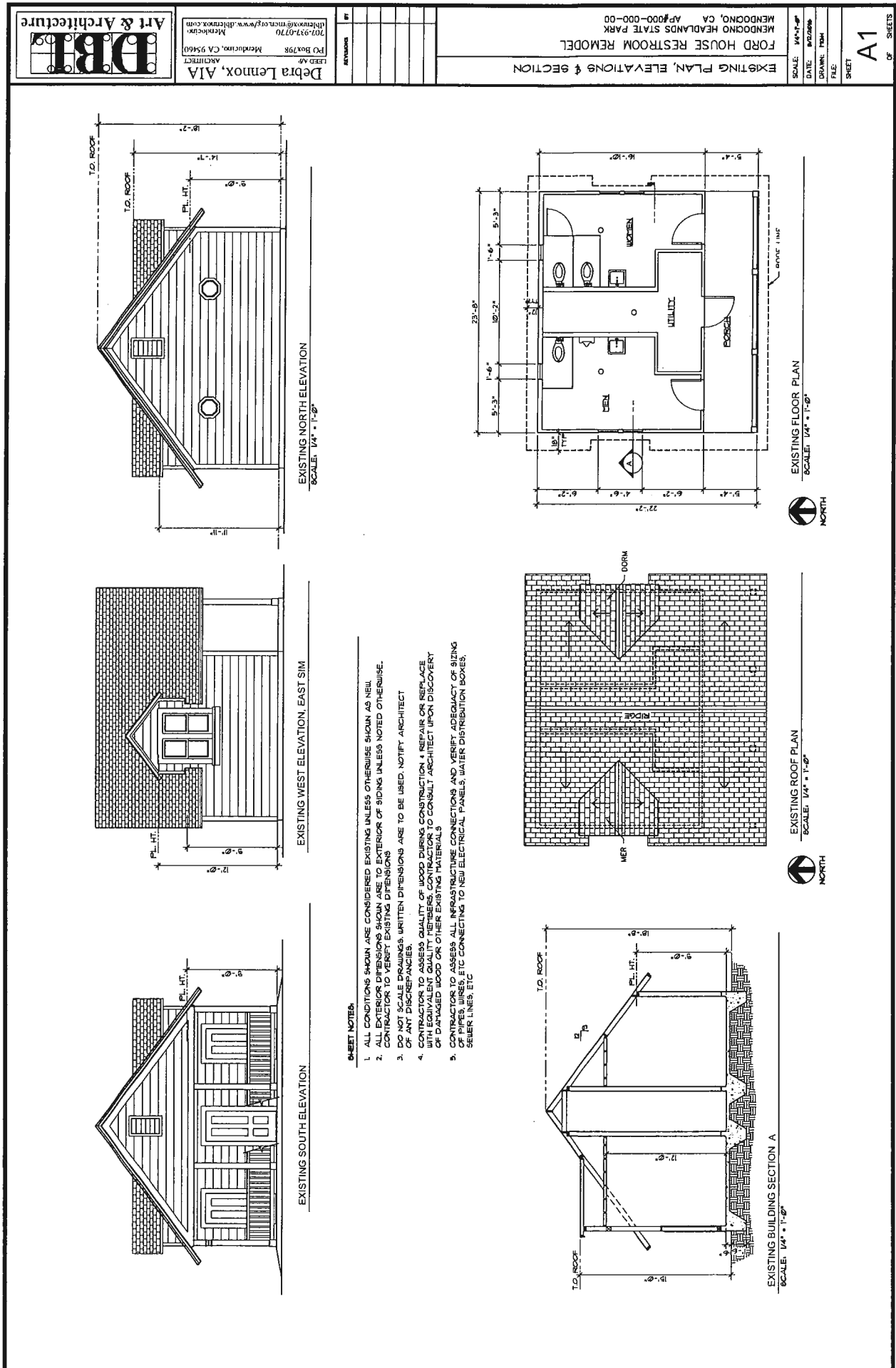


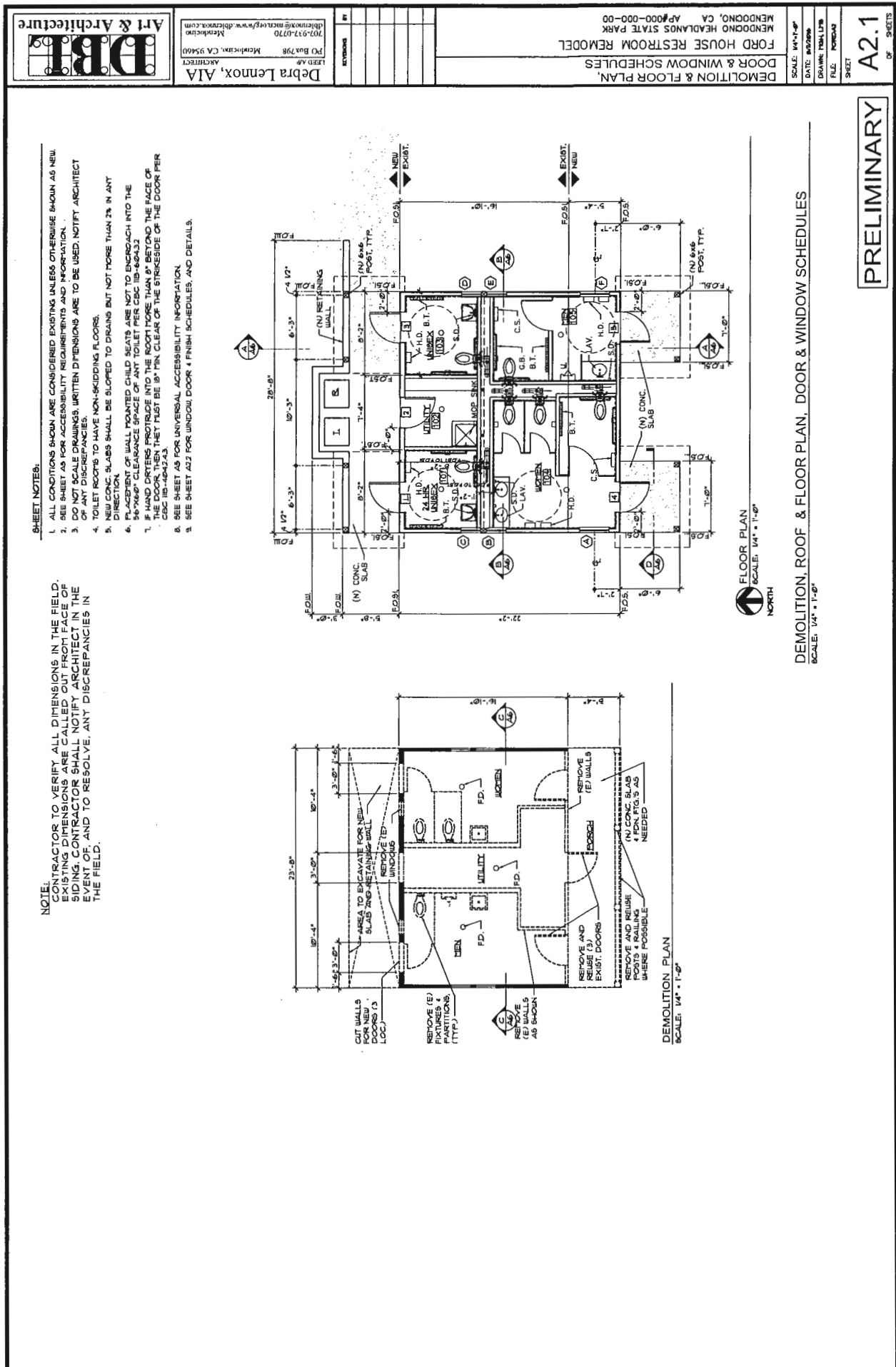
PRELIMINARY



REVISIONS	BY

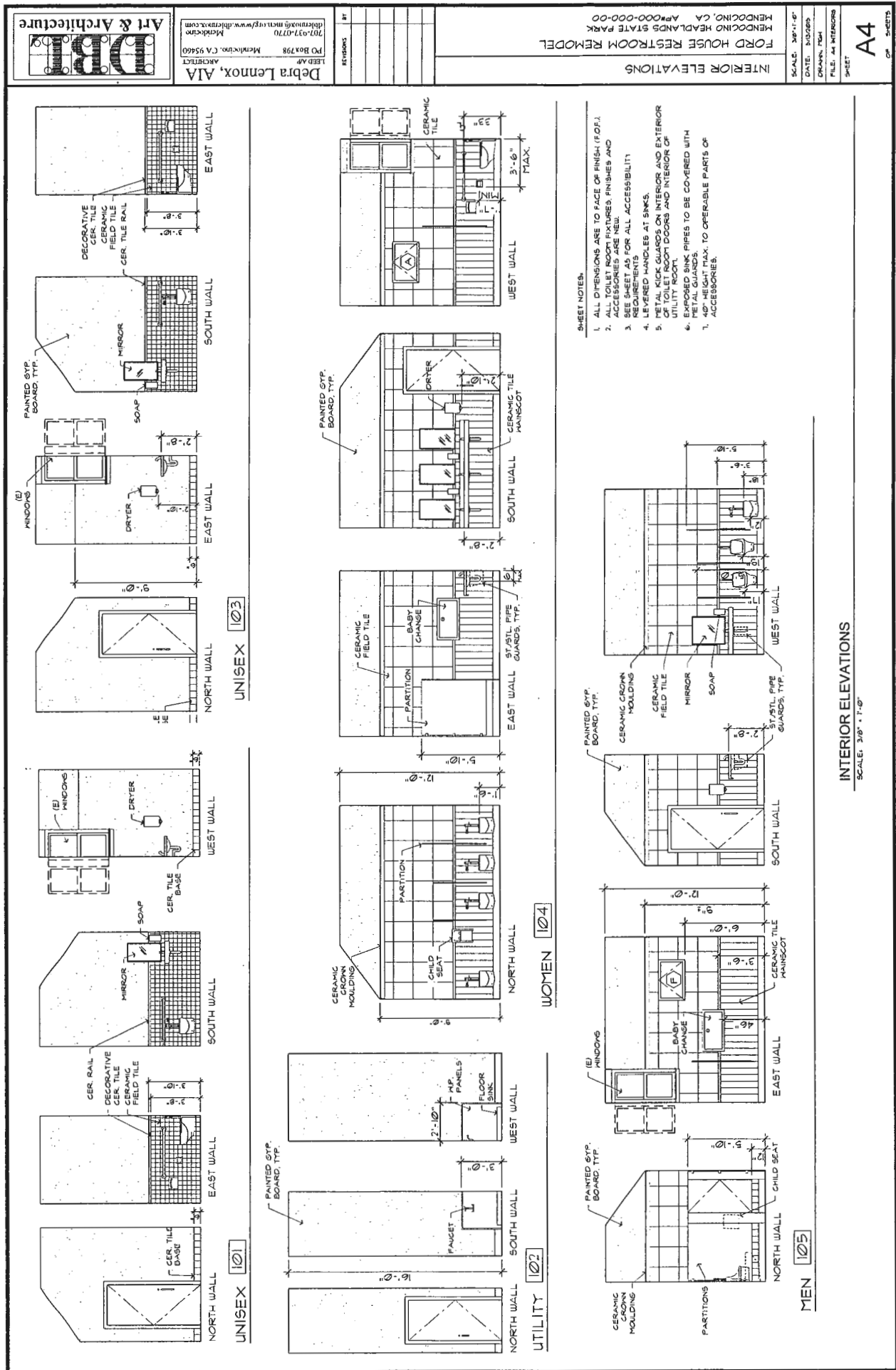












Page 11

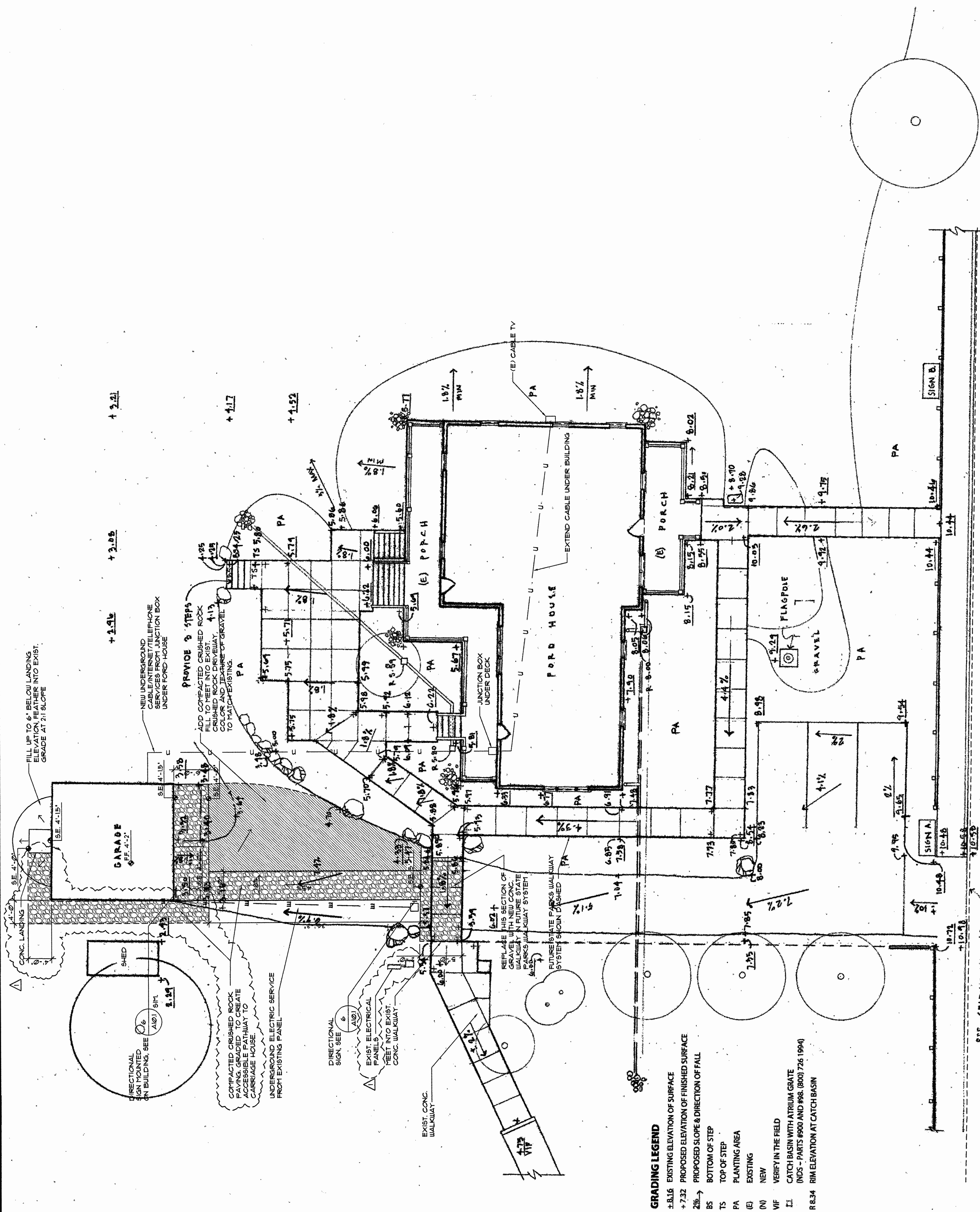


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SEE GRADING NOTE 12

# GRADING PLAN

MAIN STREET



**THE HANOVER LED SERIES** provides an elegant familiar form in both pendant and post top mounting configurations to adopt to virtually any outdoor space.

**EAE4/I\***  
Arm Part Number

**EA-9\***  
Specification sheet, page 9  
located behind Arm tab.

**EHI6RT GCF\***  
Luminaire Part Number

**EPAX 18 S4\***  
Post Part Number

**EP-1\***  
Specification sheet, page 1  
located behind Post tab.

\*For ordering information and complete product numbers, see corresponding specification sheet.

### Hanover LED Luminaire Styles

Flat Glass Lens



EHL22ST GCF

Smooth Ballast Housing



EHL16ST GCF

Fluted Ballast Housing



EHL22ST GCF



EHL16ST GCF

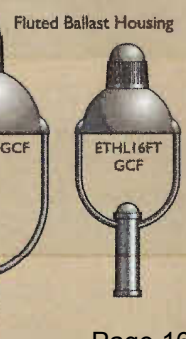


ETHL22ST GCF

Flat Glass Lens GCF  
Smooth Ballast Housing



ETHL16ST GCF



ETHL22FT GCF

Fluted Ballast Housing



ETHL16FT GCF

# Disc

## LED Ceiling and Wall

# WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

Project:

Location:

### PRODUCT DESCRIPTION

Multiple mid-powered LEDs illuminate the acrylic diffuser uniformly without socket shadows which are common in conventional flush mounts.

### FEATURES

- Install over a junction box or retrofit over a 5" or 6" recessed can
- Energy Star® rated
- Wet Location Listed
- CEC Title 24 Compliant
- CSA listed
- ADA compliant
- Wall or Ceiling Mount
- Opaque acrylic diffuser
- Multiple LED array for uniform illumination
- 120VAC - no driver needed
- Smooth and continuous ELV dimming
- Rated Life: up to 50,000 hours

### SPECIFICATIONS

**Construction:** Steel with white acrylic diffuser


**Input:** 120VAC

**ELV Dimming:** 100% - 10% Electronic Low Voltage

**Harmonic Distortion (THD):** 16% for Input Current at 120VAC

**Operating Temperature Range:** -40°C to 85°C

### ORDERING NUMBER

	Watt	Color Temp	CRI	LED Lumens	Delivered Lumens	Finish
	<b>FM-306</b> 15W	<b>930</b> 3000K <b>940</b> 4000K	90 90	1110 1165	865 905	<b>BN</b> Brushed nickel <b>BZ</b> Bronze <b>WT</b> White

**FM - 306 - 940 -**

Example: **FM-306-940-WT**

wacighting.com  
Phone (800) 526.2588  
Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760



#### ABUNDANT SELECTION

The Wal-Pak Series provides a choice of three [3] hinged, removable doors including IESNA full cutoff, Solite™ flat glass lens and refractive, tempered borosilicate glass along with six [6] unique lamp sources including energy efficient LED, pulse start metal halide, compact fluorescent, ceramic metal halide, standard metal halide and high pressure sodium.



**FULL CUTOFF DOOR**  
[FC]



**FLAT SOLITE® GLASS DOOR**  
[FL]



**BOROSILICATE GLASS/  
POLYCARBONATE REFRACTOR DOOR**  
[GL/PL]



CALL US  
**877.445.4486**  
 Mon-Fri 9am-6pm PT  
 Sat 7am-5pm PT

## Aluminum LED Square Bollard Path Light

By Focus Industries

**\$129.60 - \$184.68**

Usually ships within 3 to 5 business days.

**FREE SHIPPING** on orders over \$75.

**FREE VINTAGE STRING LIGHT KIT:** Use code **STRING** at checkout to get a FREE [Vintage String Light Kit](#) by Bulbrite (a \$100 value) with qualifying \$350 purchase. One per customer, while supplies last. Limited time only.

### Finish:



Antique Verde Black Texture Bronze Texture Camel Chrome Powder Hunter Texture

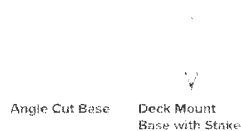


Rubbed Verde Rust Stucco Weathered Brown Weathered Iron White Texture

Shown in bronze, just as listed



### Option:



Angle Cut Base Deck Mount Base with Stake

### Color Temperature:

3000 5200

3000 5200

### Details

The Aluminum LED Square Bollard Path Light by Focus Industries has a charming, rectangular body that houses the latest in energy-efficient, flat panel LED technology. From its 9" ABS stake, the fixture mounts easily into the ground and, thus, has endless placement possibilities on any earth surface. When on, its LED light source emanates from openings at the upper portion of its body, casting a perimeter of light on the surrounding area. Connects to a 12v landscaping electrical system. Transformer is necessary but not included.

Focus Industries dedicates itself to manufacturing competitive landscape lighting products with the



SEE SCALE DRAWING

FEEDBACK





SITELINE®

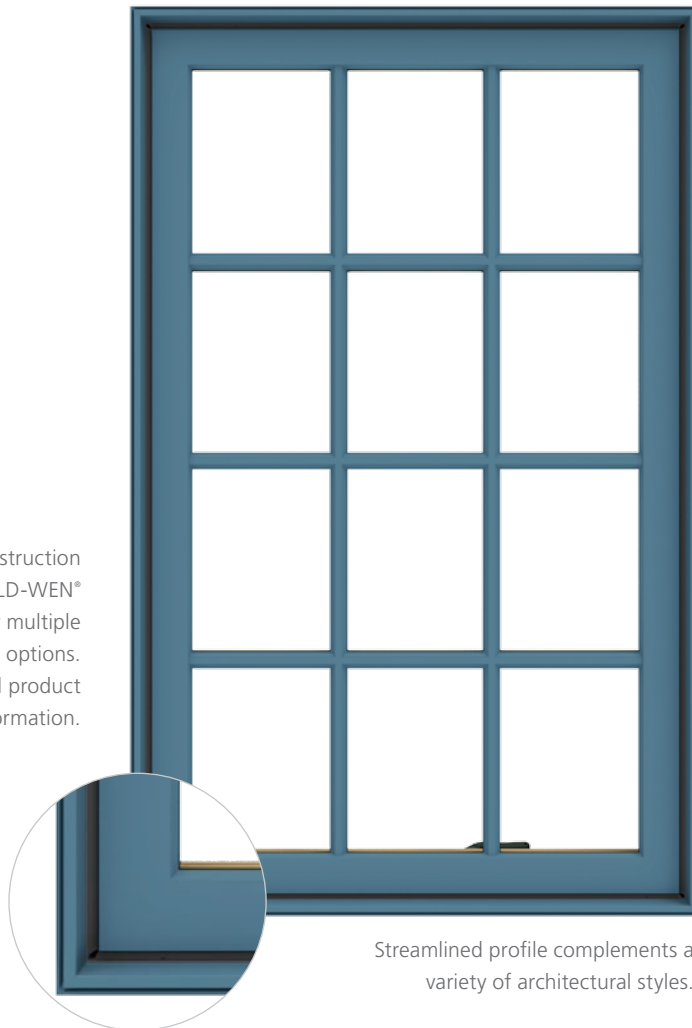
WOOD & CLAD-WOOD  
WINDOWS & PATIO DOORS

**JELD-WEN**  
WINDOWS & DOORS

## CASEMENT WINDOWS

This clean, modern design is a simple and beautiful way to accent different rooms in your home in addition to maximizing ventilation. This type of window can be hinged on either the left or right so that the sash opens outward in a swinging motion. The streamlined design of the profile detail complements historic, traditional, Craftsman and contemporary architecture.

A great choice for new construction or replacement, JELD-WEN® casement windows offer multiple sizes, colors and glass options. See dealer for additional product details and ordering information.



Streamlined profile complements a variety of architectural styles.



## AWNING WINDOWS

A versatile option for many architectural styles, the awning window provides an intriguing look alone or when grouped with other window types. It is hinged at the top and opens out from the bottom in an outward swing for a unique light and ventilation source.



Ease of operation and greater energy efficiency with standard LoE<sup>+</sup>-366<sup>®</sup> insulated glass make JELD-WEN<sup>®</sup> awning windows a great addition to any room. See dealer for additional product details and ordering information.

## PUSH-OUT CASEMENT AND AWNING WINDOWS

Simplicity is at the core of these stylish window options. They open like our other casement windows (hinged at the side) and awning windows (hinged at the top) yet they do so without a hardware crank. Just unlatch the lock to open for ventilation.

### SWINGING SCREEN

Historically detailed swinging screen matches wood and hardware finishes

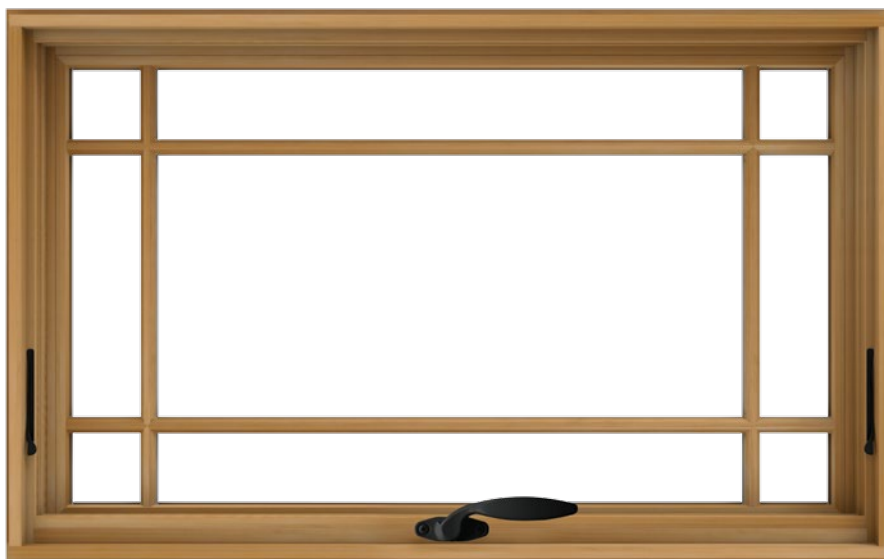
### PUSH-OUT HANDLE

Simple and secure, this handle is reminiscent of old world charm but with the added benefits of modern security



### HIDDEN MAGNETIC CLOSURES

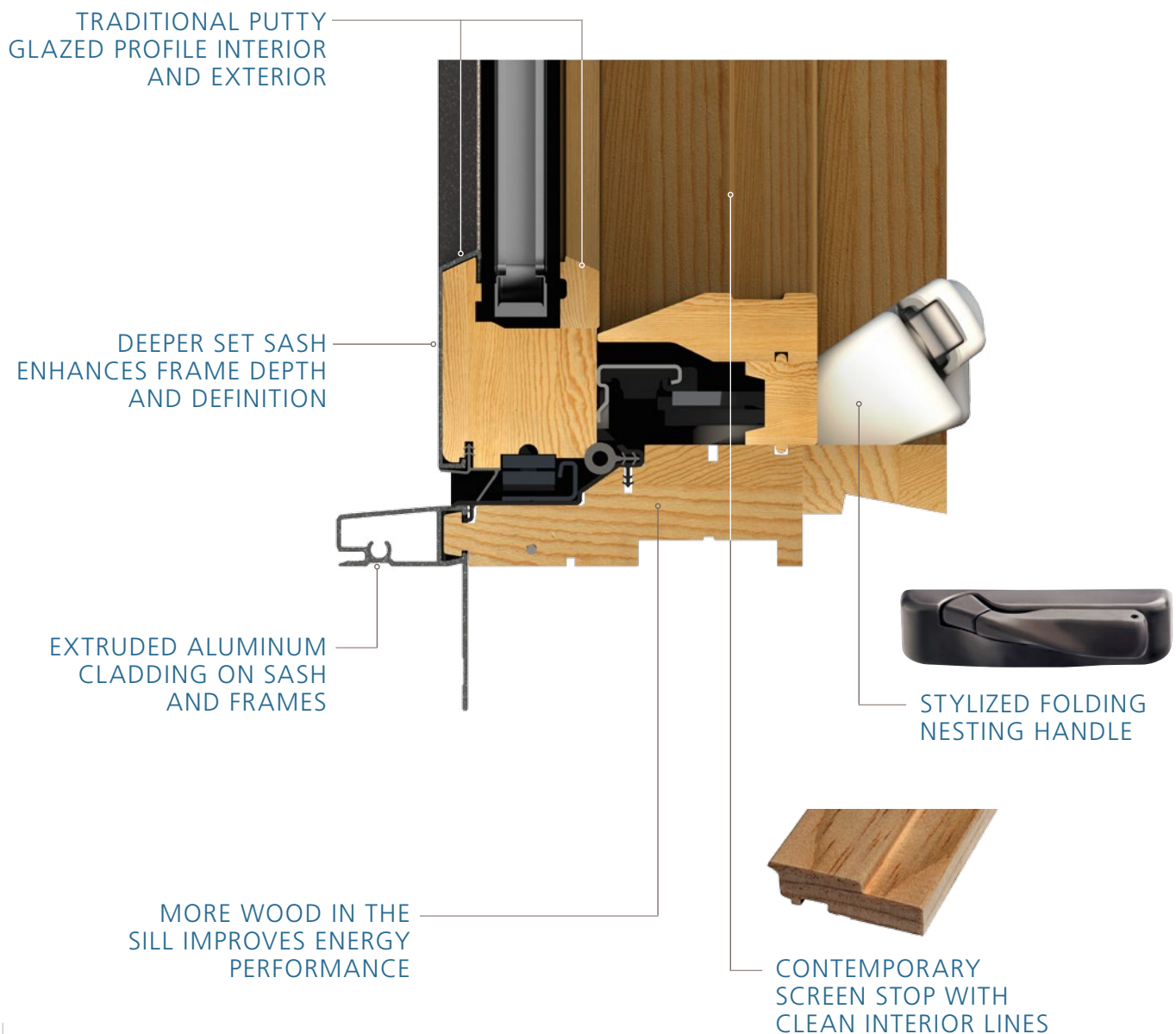
For a clean unobstructed look.



Clean lines, proven operation and multiple options for screens, finishes and hardware make these windows a great choice for your home. See dealer for additional product details and ordering information.

## CASEMENT AND AWNING HIGH PERFORMANCE FEATURES

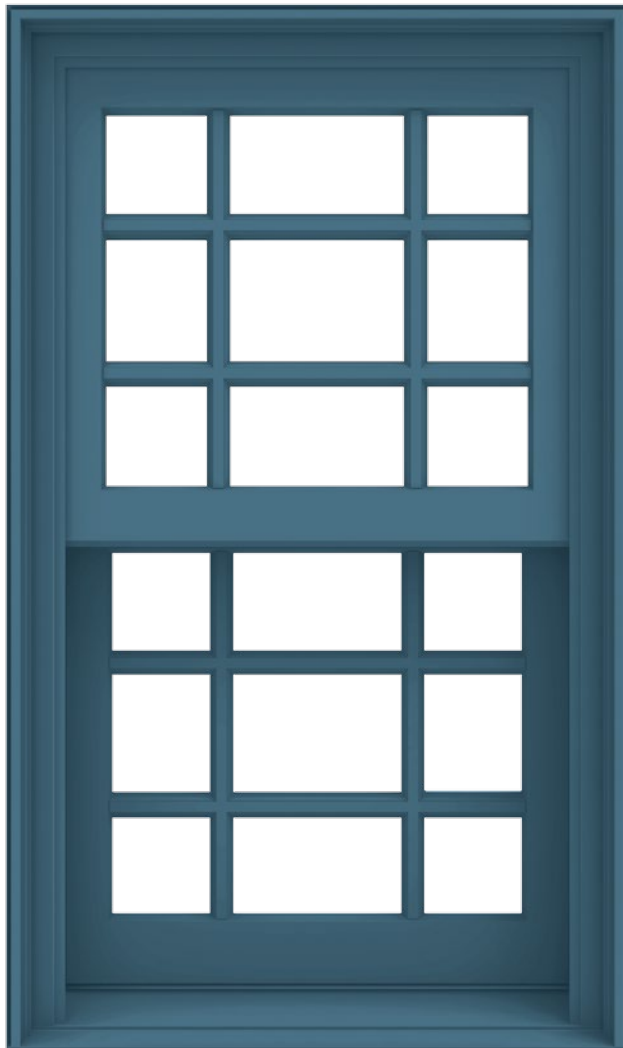
Our goal of achieving a window design that meets the 2016 ENERGY STAR® 6 criteria has allowed us to take advantage of the latest in high performance engineering and design. The new Sitaline design includes heavier hardware and greater thermal performance. The traditional putty glaze and deeper set sash features give this window an architecturally enriched appearance that works well in modern, historical, new construction, historical renovation and light commercial.



## DOUBLE-HUNG WINDOWS

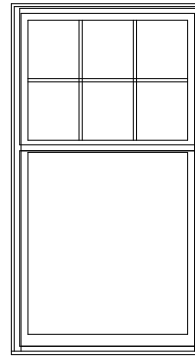
JELD-WEN double-hung windows offer a traditional style. They feature an upper and lower sash that can slide vertically past each other in a single frame and have a concealed jamb liner, providing a clean and architecturally focused look. Both sash tilt in for convenient cleaning.

These windows feature an optional 3-1/2" bottom rail with optional finger plow and a top rail with optional finger routes.

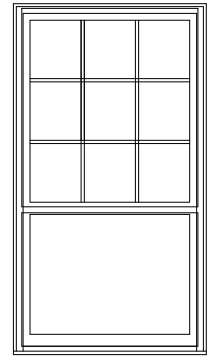


Beneath the low-profile exterior are several engineering and design cues that will keep these windows operating smoothly for years to come. See dealer for additional product details and ordering information.

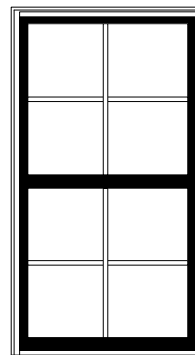
### OPTIONAL DESIGNS



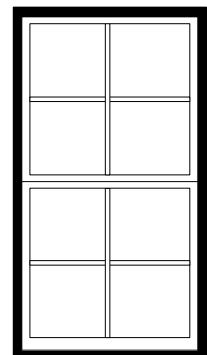
COTTAGE



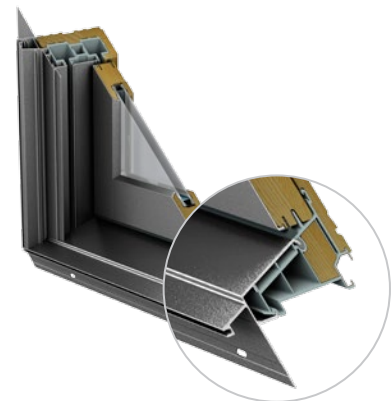
REVERSE  
COTTAGE



HYBRID  
WOOD FRAME/  
CLAD SASH



HYBRID  
CLAD FRAME/  
WOOD SASH



### CHAMBERED COMPOSITE INTERIOR SILL

- Added strength
- Space in chambers acts as thermal break



## DOUBLE-HUNG POCKET REPLACEMENT WINDOWS\*

Replacing drafty, old windows with new, JELD-WEN® pocket replacement double-hung windows is an easy way to make a big impact in your home. You'll retain the beauty of natural wood, plus save money on heating and cooling bills while giving your home added security. These windows will give any renovation project years of reliability and beauty.

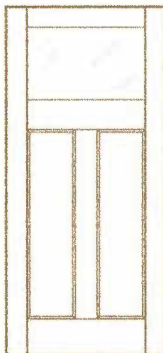


Add style and efficiency to your home in no time with our easy-to-install pocket replacement windows.

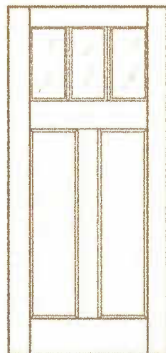


# MERANTI MAHOGANY PREMIUM CRAFTSMAN & PANEL DOORS

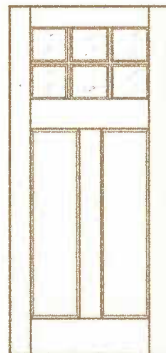
## CRAFTSMAN INSULATED GLASS DOORS



6201



6203



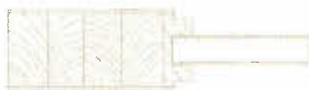
6206

## SIDELIGHT



6101SL

## CRAFTSMAN SHELF



5/8" Flat Panel Profile

## GLASS OPTIONS (ALL GLASS INSULATED)



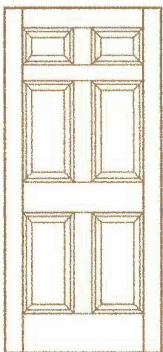
Clear  
PRIVACY RATING 1



Clear Beveled  
PRIVACY RATING 1



1-1/8" Single Hip  
Raised Panel Profile



5066

» 6206 MERANTI MAHOGANY DOOR WITH CLEAR GLASS, FLAT PANELS

FORD HOUSE  
REST ROOM  
PROPOSED DOORS

- Craftsman doors with their simple lines, flat panels and square sticking have been a favorite amongst architects for many years. They complement Craftsman, Prairie and Mission building styles as well as contemporary homes.

Meranti Mahogany

