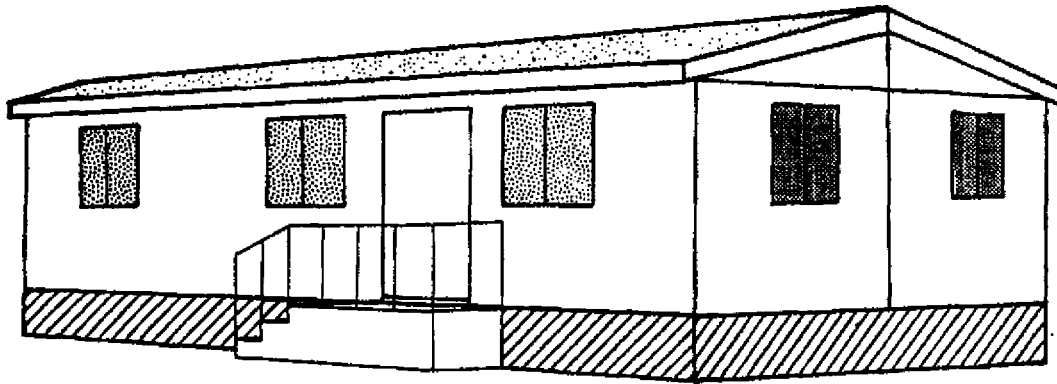


Mobile Homes/Manufactured Homes

Permits, Installation, Inspections
and Zoning Requirements



Mendocino County Planning & Building Services

Inland: 860 North Bush Street
Ukiah, CA 95482
707-234-6650

Coastal: 120 West Fir Street
Fort Bragg, CA 95437
707-964-5379

Permits, Installation, and Inspections

1. Permits are required when:
 - a. Any mobile home, manufactured home, and modular home installed in Mendocino County on private land requires a permit and inspections from the Mendocino County Building Department.
 - b. Any recreational vehicle (travel trailer, fifth wheel, park model or motor home) requires an administrative permit from the Planning Division to temporarily be used as a dwelling when in conjunction with the construction/establishment of a mobile home or residence (A valid building permit must be in effect for the administrative permit to be valid) or family care unit.
 - c. A mobile home may need to be certified under the 1974 Mobile Home Safety Standards Act. *See Page 6 for details.*
2. Permit Application for a Home to be placed Without a Permanent Foundation.
 - a. A permit application is required to be completed and submitted along with 3 copies of an 8¹/₂"x11" plot plan, 3 sets of the manufacturer's set-up installation manual, 3 sets of State approved engineered tie-down plans, and clearance from CalFire if applicable. *See example A.*
 - b. For older mobile homes, manufactured, or modular homes where the installation manual is no longer available, the foundation is to be installed per Building Department guidelines which are available at the Building Department based on Section 1335.5 Chapter 2, Title 25.c. *See example B.*
 - c. Prior to issuance of a permit, the owner or applicant must submit a letter of developer fee payment (school impact fees) from the appropriate school district to the Building Division.
3. Permit Application for Permanent Foundation Installation.
 - a. A permit application is required to be completed and submitted along with 3 copies of an 8¹/₂"x11" plot plan, 3 sets of the manufacturer's set-up installation manual, 3 sets of state approved engineered tie-down plans, and clearance from CalFire if applicable. *See example A.*
 - b. Prior to issuance of a permit, the owner or applicant must submit a letter of developer fee payment (school impact fees) from the appropriate school district to the Building Division.
 - c. At the time the permit application is submitted, the owner/applicant must also submit completed Housing & Community Development (HCD433) forms.
4. Additional Permits:
 - a. All other structures i.e. (awning, carport, garage, deck, deck cover, ramada, cabana, and storage building) require an additional permit.
5. Alterations and Repairs to Mobiles:
 - a. Alterations or repairs to mobile homes, modular, or manufactured homes require a permit through the state and will be inspected by the state (916-255-2501). Proof of permit and final inspection from the state is required to be submitted to the Building Department.
 - b. Any attachment to a mobile home, modular or manufactured home requires a permit through the state and will be inspected by the state (916-255-2501). Proof of permit and final inspection from the state is required to be submitted to the Building Department.
6. Inspections:
 - a. You are allowed four separate inspection dates to complete your installation requirements and to have a final on your home.
 - b. If the installation requirements are not met after the fourth inspection, a re-inspection fee may be required before any further inspections can be conducted.
7. Inspections required:

NOTE: No inspections shall be performed without the approved installation manual plans, and permit on site.

- a. Block or foundation.
 - 1. This inspection is per the installation manual, Mendocino County Building Division requirements, or stamped plans prepared by a California licensed engineer or architect, or state approved plans submitted and approved by the Mendocino County Building Division.
- b. Ridge & Floor & End wall connection on Mobile, Modular, or Manufactured Homes.
 - 1. This inspection is per the installation manual or Section 1335.5 requirements. *See example B.*
- c. Gas Test on Mobile, Modular, or Manufactured Homes.

NOTE: Do not over pressurize the fuel gas piping system. Pressurization beyond the maximum specified pressure may result in damage to valves, regulators, appliances, etc.

- 1. The inspection requires that the owner or applicant supply and have the test equipment ready at time of inspector's arrival.
- 2. The home fuel gas piping system shall be tested before it is connected to the mobile home lot gas outlet. The home gas piping system shall be subjected to a pressure test with all appliance shut-off valves, except those ahead of fuel gas cooking appliances, in the open position. Appliance shut-off valves ahead of fuel gas cooking appliances shall be closed.

The test shall consist of air pressure at not less than 10 inches nor more than a maximum of 14 inches water column. (Six ounces to a maximum eight ounces psi). The system shall be isolated from the air pressure source and maintain pressure for not less than two minutes without any perceptible leakage. Upon satisfactory completion of the test, the appliance valves ahead of fuel gas cooking appliances shall be opened and the gas cooking appliances tested with soapy water or bubble solution while under the pressure remaining in the piping system. Solutions used for testing for leakage shall not contain corrosive chemicals. Pressure shall be measured with either a manometer, slope gauge, or gauge calibrated in either water inches or psi with increments of either one-tenth inch or one-tenth psi, as applicable. Upon satisfactory completion of the test, the home gas supply connector shall be installed, and the connections tested with soapy water or bubble solution.

Gas appliance vents shall be visually inspected to insure that they have not dislodged in transit and are securely connected to the appliance.

- d. Exterior Gas Line to Home (LPG)
 - 1. The inspection requires that the owner or applicant supply and have the test equipment ready at time of the inspector's arrival.
 - 2. The gas test can be an air test with ten pounds PSI holding for 15 minutes.
 - 3. This test should be on exterior line only. It may cause damage to mobile home valves, regulators, appliances, etc.

- e. Continuity Test (Home grounding)
 - 1. This inspection requires that owner or applicant supply the necessary continuity tester and have the test ready to perform at the time of the inspector's arrival.
 - 2. The electrical wiring and power supply feeder assembly of the home shall be tested for continuity and grounding. The electrical wiring system of the home shall not be energized during the test. A home equipped with a power supply cord shall not be connected to the lot or site service equipment. A home equipped with a feeder assembly shall have the flexible metal conduit of the feeder assembly connected to the lot or site service equipment; however, the supply conductors, including the neutral conductor, shall not be connected.

The continuity test shall be made with all home interior branch circuit switches or circuit breakers, and all switches controlling individual outlets, fixtures and appliances in the "on" position. The test shall be made by connecting one lead of the test instrument to the home grounding conductor at the point of supply to the feeder assembly, and applying the other lead to each of the supply conductors, including the neutral conductor. There shall be no evidence of any connection between the supply conductors and the grounding conductor. In addition, all noncurrent-carrying metal parts of electrical equipment of the home, including fixtures and appliances, shall be tested to determine continuity between such equipment and the equipment-grounding conductor.

Upon completion of the continuity test, the power supply cord or feeder assembly shall be connected at the lot or site service equipment. A further continuity test shall then be made between the grounding electrodes and the chassis of the home.

f. Water Test on Home.

1. Required test to be performed by owner or applicant at time of inspection.
 - a. This inspection requires the owner or applicant to have water pressure to the home so all plumbing fixtures, drain lines, and sewage lines can be inspected for leaks.
2. The water distribution system of the home and the supply connections shall show no evidence of leakage under normal operating pressures. If water at normal operating pressure is not available, the home water distribution system shall be tested by a 50-pound per square inch air pressure test for a period of not less than 15 minutes without leaking.
3. The home drainage piping system shall be connected to the lot or site drain inlet, and tested by allowing water to flow into all fixtures and receptors, including the clothes washer standpipe, for a period of three minutes. If water under pressure is not available, the drainage piping system shall be tested by letting at least three gallons of water into each fixture and receptor. There shall be no visible evidence of leaks.

g. Stairway Inspection

1. Permanent steps or stairways are required at all exterior doors if the rise between grade and the threshold is more than 7.5 inches.
2. If a stairway has 4 or more risers (steps), a minimum of one handgrip is required on one side of the stairway.

Handgrips must be between 34" to 38" above the nosing of the treads and have a gripping surface of between 1¹/₄ inches to 2 inches, and spaced so as to project 1/2 inches maximum from the wall or face of the guardrail to allow grip of hand.

3. All handgrips must terminate in newel post, safety terminals, or return to post.

8. Post Permanent Address

- a. Post on home if it can be seen from the road.
- b. Post at the end of driveway if home cannot be seen from road.
- c. Address numbers should be 2¹/₂ inches minimum attached horizontally and be of a color that contrasts with the background. Check with CalFire requirements.
- d. This should be done before calling for an inspection so the inspector can find your project.

Approved Access to Mobile Home

§ 1498. Landing, Porch and Stairway-Design and Construction.

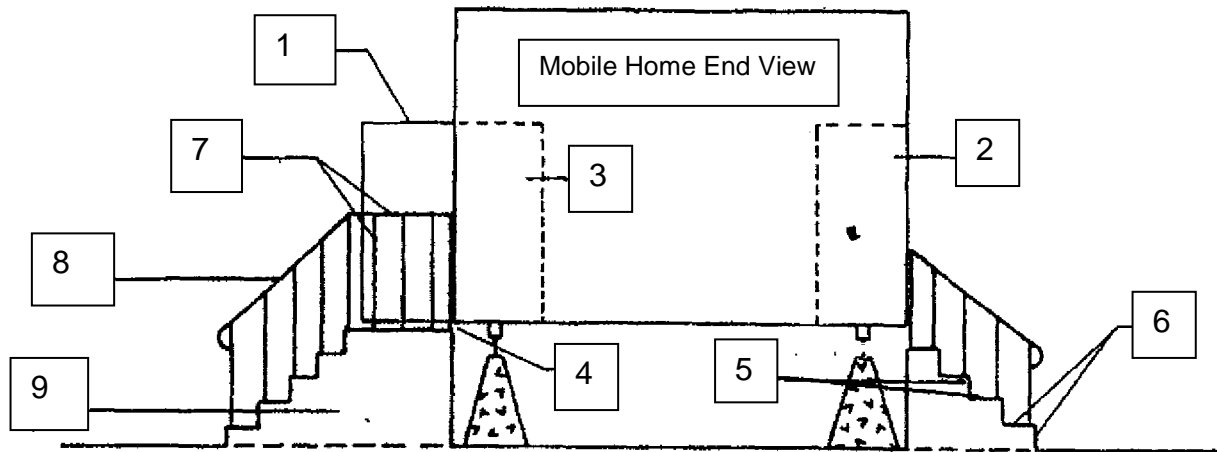
- (a) Requirements for the design and construction of all structural elements of porches and stairways and railings are contained in the California Residential Code, except as otherwise provided by this article. Live loads applicable to porch floors and stairways shall be not less than forty (40) psf. Porches shall be designed and constructed as completely freestanding, self-supporting structures. Except as otherwise provided in this article, stairways and ramps shall be a minimum of thirty-six (36) inches in width.
- (b) Where a door of the MH-unit swings outward:
 - (1) the floor of the exterior landing or porch shall be not more than one (1) inch lower than the bottom of the door; and
 - (2) the width and depth of the exterior landing or porch serving stairs perpendicular to any out swinging door opening shall comply with subsection (a) of this section and shall not be less than the full width of the door when open at least ninety (90) degrees. Guard rails shall permit the door to open at least ninety (90) degrees.

- (c) The exit stairway for a door opening on the carport side, when necessary for vehicle access, shall be not less than twenty-eight (28) inches or the full clear width of the door opening, whichever is greater, when the stairs are parallel to the MH-unit.
- (d) Where the MH-unit door swings inward or is a sliding door, the landing, porch, or top step of the stairway may not be more than seven and one-half (7½) inches below the door. The width of the landing, porch, or top step of the stairway shall comply both with subsection (a) of this section and not be less than the width of the door opening. A landing or porch is not required when the stairway has a straight run up to the door opening.
- (e) The stairway may be capable of being relocated and need not be secured to the lot.

Zoning Requirements

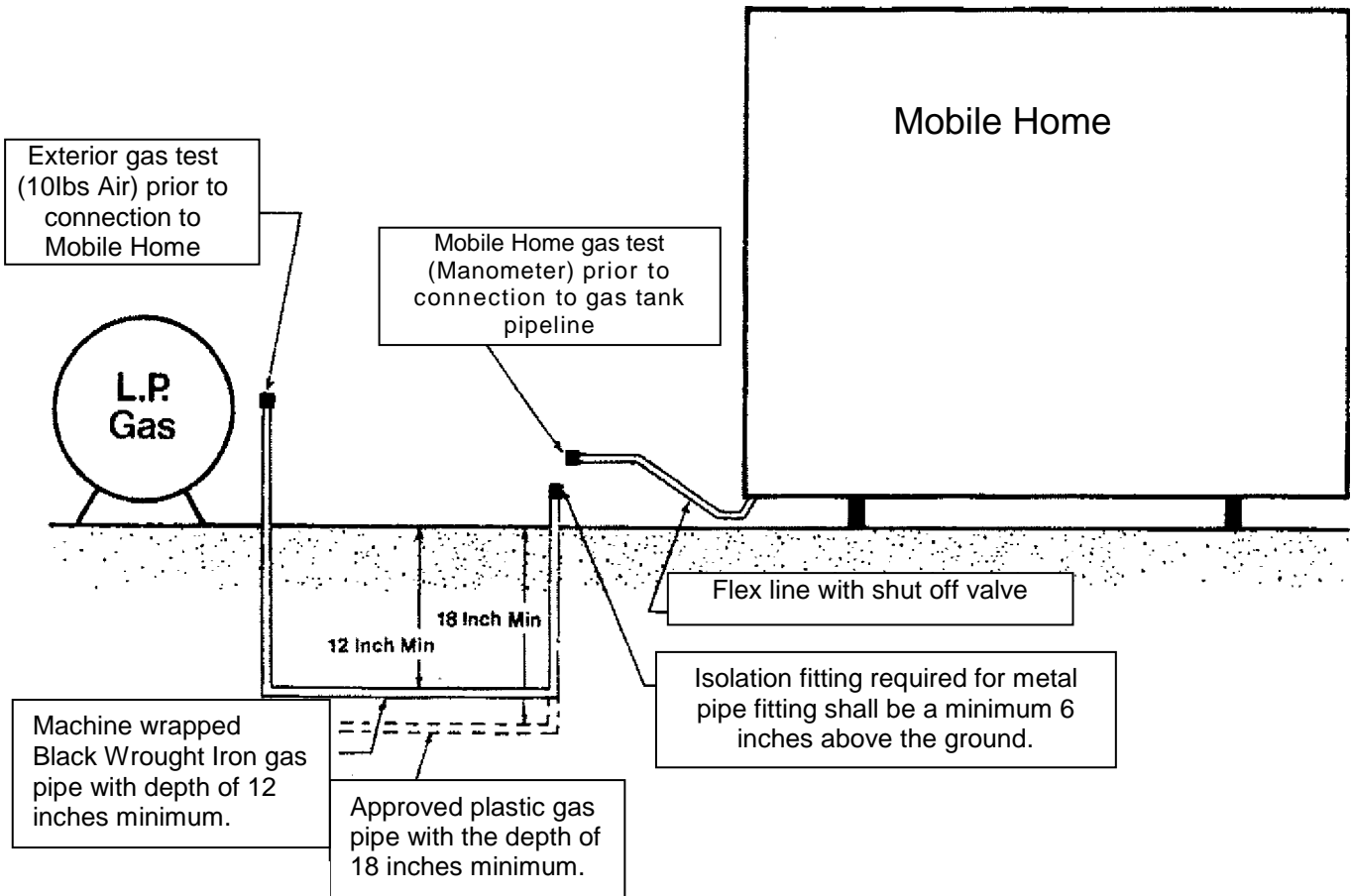
Section 20.172.015 Development Standards — Individual Mobile Homes: The following regulations shall apply to the placement of a home on a lot not within a mobile home park.

- (A) In the R-R, R-1, R-2, R-3, R-C, S-R, C-1 and C-2 Districts, mobile home shall conform to the following regulations:
 - 1. Be certified under the National Mobile Home Construction and Safety Standards Act of 1974.
 - 2. Not be altered in violation of applicable codes.
 - 3. Be occupied only as a Residential Use Type in compliance with all applicable regulations.
 - 4. Be subject to all provisions of this Division applicable to residential structures.
 - 5. Have a minimum of seven hundred twenty (720) square feet.
 - 6. Have roof and siding of non-reflective material, except that crushed rock of any kind may be used for roof surfacing. The exterior cover material shall extend to the ground, except that when a solid concrete or masonry perimeter foundation is used, the exterior covering material need not extend below the top of the foundation.
 - 7.
- (B) In the U-R, A-G, R-L, F-L and T-P Districts, homes shall conform to the following regulations:
 - 1. Not be altered in violation of applicable codes.
 - 2. Be occupied only as a Residential Use Type in compliance with all applicable regulations.
 - 3. Be subject to all provisions of this Division applicable to residential structures.
 - 4. Exterior cover material (siding) shall extend to the ground except that when a solid concrete or masonry perimeter foundation is used, the exterior cover material need not extend below the top of the foundation.
- (C) Exemptions.
 - 1. Trailer coaches permitted for (1) temporary family care units (Section 20.168.45), (2) occupancy while constructing a dwelling (and other uses permitted in Section 20.168.40) or (3) farm employee housing (Section 20.016.15) shall not be subject to the standards contained within this Chapter.



1. If an exit door swings out (in the direction of exit travel), it must open onto a landing of at least the same width and length as the door opening. Section 1498(b)
2. If door opens in, or is a sliding door, a landing is not required. Section 1498(c)
3. When a door opens in, the landing or top step may not be more than 7 1/2 " below the floor level. Section 1498(c)
4. When the door opens out, the landing may not be more than 1" below the floor level. Section 1498(b)
5. The maximum variations in the height of risers and the width of treads shall not exceed 3/8". Section 1504
6. Stairway risers shall not exceed 8" ' in height and treads shall not be less than 9" in depth. Section 1504
7. Landings and porches more than 30" above grade shall have railings not less than 36" in height above the floor and intermediate rails in open-type railings shall be spaced not more than 4" apart. Section 1502
8. Stairways having four or more risers shall have handgrips not less than 34" nor more than 38" as measured vertically from the nosing of stair treads. Section 1504
9. Stairways may be supported on piers in lieu of continuous footings. Individual load bearing footings for piers may be placed on the surface of the ground, but they shall be placed level on firm cleared soil or compact fill. Individual load bearing footings for piers shall be adequate in size to withstand tributary dead and live loads. Precast or poured in place concrete footings not less than 3 "A" in thickness may be used. Section 1334

Mobile Home L.P. Gas Hookup



<u>Container Capacity (US gallons)</u>	<u>Minimum Distance*</u>
Less than 100	5 Feet
100 to 500	10 Feet
500 to 1200	25 Feet
Over 1200	50 Feet

*Minimum Distance refers to the minimum distance the container can be placed to property lines, public right-of-ways, and buildings.

Common Question and Answers
Regarding the Installation of Mobile Homes/Manufactured Homes

- What is a Manufactured Home? A manufactured home is a complete single-family home deliverable in one of more transportable sections. A manufactured home is not the same as a recreational vehicle or a park model home trailer.
- What is a Recreational Vehicle? A recreational vehicle is a motor home, travel trailer, truck camper, park model or a camping trailer that is designed for recreational, emergency, or other occupancy.
- What is a Park Trailer? A park model trailer is designed for human habitation for recreational or seasonal use only in a RV park.
- May I install a Park Model Trailer or Recreational Vehicle on a permanent foundation or tie down system and use it as a dwelling unit? No. Even though a park model trailer or recreational vehicle may closely resemble a Manufactured Home they are not built to the same standards and cannot be used in the same manor.
- May I get a Class K permit for the installation of my manufactured home? No. A Class K permit may be used for a mobile home that is being changed to a storage unit.
- What is an Engineered Tie-Down System? An Engineered Tie-Down System will allow the manufactured home unit to resist wind loads of fifteen pounds or the design wind load of the manufactured home whichever is greater. An Engineered Tie Down system used in conjunction with a temporary foundation will allow the home to be installed on real property.
- May I install a Manufactured Home on an Engineered Tie-Down System along with a Temporary Foundation and get the HCD433A form released from the Department? No. A manufactured home needs to be set on a permanent foundation to get the HCD433A released.
- What is a Permanent Foundation system? A permanent foundation system provides for the installation of a manufactured home on a foundation system, thereby becoming a fixture and an improvement to the underlying real property. When a manufactured home is installed and the local enforcement has approved the installation, the local enforcement agency must remit documentation and fees to the HCD. The information provided with the form HCD433A provides for the removal of the Department's temporary title record established when the manufacture reported the manufacture and shipment of the home.
- Does a Manufactured Home need to be on a continuous concrete spread footing to be considered a permanent foundation? No. There are numerous foundation systems that are designed by manufacturers that allow for the installation of manufactured homes with their setups that satisfy the requirements of Title 25 section 1333, thus allowing the release of the HCD433A form.
- Does the installer need to have legal steps installed at all exits of the manufactured home? Yes, no exceptions.