



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES

860 NORTH BUSH STREET • UKIAH • CALIFORNIA • 95482
120 WEST FIR STREET • FT. BRAGG • CALIFORNIA • 95437

IGNACIO GONZALEZ, INTERIM DIRECTOR
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FB PHONE: 707-964-5379
FB FAX: 707-961-2427
pbs@mendocinocounty.org
www.mendocinocounty.org/pbs

April 4, 2018

Planning – Ukiah
Department of Transportation
Environmental Health - Fort Bragg
Building Inspection - Fort Bragg
Assessor
Sonoma State University

Department of Forestry/ CalFire
Sherwood Valley Rancheria
Cloverdale Rancheria
Redwood Valley Rancheria
Mendocino School District
Mendocino Sewer District

Mendocino Water District
Mendocino Fire District
Mendocino City Community Services
Coastal Commission
State Clearinghouse

CASE#: CDP_2017-0048

DATE FILED: 12/12/2017

OWNER/APPLICANT: SHUCK GERALD EDMUND & KIMIKO K

AGENT: JAY ANDREIS/ANDREIS DESIGN STUDIO

REQUEST: A Coastal Development Administrative Permit request to construct a 3,360 sq. ft. home.

LOCATION: In the Town of Mendocino and the Palette Dr. Subdivision, on the south side of Palette Dr. (CR 448), 1,000± ft. northeast of its intersection with Lansing St. (CR 500), located at 10900 Palette Dr. (APN: 119-060-20).

ENVIRONMENTAL DETERMINATION: Categorically Exempt

STAFF PLANNER: Juliana Cherry

RESPONSE DUE DATE: April 18, 2018

PROJECT INFORMATION CAN BE FOUND AT:

www.mendocinocounty.org

Select "Government" from the drop-down; then locate Planning and Building Services/Public Agency Referrals.

Mendocino County Planning & Building Services is soliciting your input, which will be used in staff analysis and forwarded to the appropriate public hearing. You are invited to comment on any aspect of the proposed project(s). Please convey any requirements or conditions your agency requires for project compliance to the project coordinator at the above address, or submit your comments by email to pbs@mendocinocounty.org. Please note the case number and name of the project coordinator with all correspondence to this department.

We have reviewed the above application and recommend the following (please check one):

- ☐ No comment at this time.
- ☐ Recommend conditional approval (attached).
- ☐ Applicant to submit additional information (attach items needed, or contact the applicant directly, copying Planning and Building Services in any correspondence you may have with the applicant)
- ☐ Recommend denial (Attach reasons for recommending denial).
- ☐ Recommend preparation of an Environmental Impact Report (attach reasons why an EIR should be required).
- ☐ Other comments (attach as necessary).

REVIEWED BY:

Signature _____ Department _____ Date _____

OWNER:

SHUCK GERALD EDMUND & KIMIKO K

APPLICANT:

SHUCK GERALD EDMUND & KIMIKO K

AGENT:

JAY ANDREIS/ANDREIS DESIGN STUDIO

REQUEST:

A Coastal Development Administrative Permit request to construct a 3,360-square-foot home.

LOCATION:

Located in the Town of Mendocino and the Palette Drive Subdivision at 10900 Palette Drive (APN 119-060-20).

ACREAGE:

21,500-square-foot lot

GENERAL PLAN:

SR20K:U

ZONING:

MSR:20K

COASTAL ZONE:

YES

EXISTING USES:

Vacant Lot

SUPERVISORIAL DISTRICT:

5

TOWNSHIP:

17N

RANGE:

17W

SECTION:

30

USGS QUAD#:

RELATED CASES ON SITE:

RELATED CASES IN VICINITY:

	ADJACENT GENERAL PLAN	ADJACENT ZONING	ADJACENT LOT SIZES	ADJACENT USES
NORTH:	SR	MSR	0.5 acre	Residential
EAST:	SR	MSR	0.5 acre	Residential
SOUTH:	SR	MSR	0.5 acre	Residential
WEST:	SR	MSR	0.5 acre	Residential

REFERRAL AGENCIES:

☒Planning (Ukiah)

☒Department of Transportation

☒Environmental Health (FB)

☒Building Inspection (FB)

☐Emergency Services

☒Assessor

☐Farm Advisor

☐Agriculture Commissioner

☐Forestry Advisor

☐Air Quality Management District

☐ALUC

☐County Water Agency

☐Archaeological Commission

☒Sonoma State University

☐US Fish & Wildlife Service

☒Sherwood Valley Rancheria

☐Trails Advisory Council

☐Native Plant Society

☒State Clearinghouse

☐Caltrans

☒CalFire

☐Department of Fish & Game

☒Coastal Commission

☐RWQCB

☐Division of Mines & Geology

☐Department of Health Services

☐Department of Parks & Recreation

☐Department of Conservation

☐Soil Conservation Service

☐Army Corps of Engineers

☒Cloverdale Rancheria

☐Russian River Flood Control/Water Conservation Improvement District

☐CHP

☐MTA

☐County Addresser

☐LAFCO

☐Gualala MAC

☐Laytonville MAC

☐Westport MAC

☐Sierra Club

☒Mendocino School District

☒Sewer District

☒Water District

☒Mendocino Fire District

☒Mendocino City Cmmnty Svcs

☐City Planning

☒Redwood Valley Rancheria

ADDITIONAL INFORMATION:

CDF Preliminary Clearance #510-17.

ASSESSOR'S PARCEL #: 119-060-20-00

PROJECT COORDINATOR:

JULIANA CHERRY

PREPARED BY:

J CHERRY

DATE:

3-16-2018

ENVIRONMENTAL DATA
(To be completed by Planner)

COUNTY WIDE		
Yes	No	
	NO	1. Alquist-Priolo Earthquake Fault Zone – Geotechnical Report #GS_____
	NO	2. Floodplain/Floodway Map –Flood Hazard Development Permit #FP_____
	NO / NO	3. Within/Adjacent to Agriculture Preserve / Timberland Production
	NO	4. Within/Near Hazardous Waste Site
	YES	5. Natural Diversity Data Base
	NO	6. Airport CLUP Planning Area – ALUC#_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Adjacent to State Forest/Park/Recreation Area. Mendocino Headlands State Park
<input type="checkbox"/>	<input checked="" type="checkbox"/>	8. Adjacent to Equestrian/Hiking Trail.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Hazard/Landslides Map
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Require Water Efficient Landscape Plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	11. Biological Resources/Natural Area Map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Fire Hazard Severity Classification: <input type="checkbox"/> LRA <input checked="" type="checkbox"/> SRA-CDF# 510-17 High Fire Hazard
<input type="checkbox"/>	<input checked="" type="checkbox"/>	13. Soil Type(s)/Pygmy Soils. Western Soils 161
<input type="checkbox"/>	<input checked="" type="checkbox"/>	14. Wild and Scenic River.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Specific Plan Area. Mendocino Town Plan
<input checked="" type="checkbox"/>	<input type="checkbox"/>	16. State Permitting Required/State Clearinghouse Review California Coastal Commission. Mendocino Town Local Coastal Plan Area.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	17. Oak Woodland Area

COASTAL ZONE		
Yes	No	
	NO	16. Exclusion Map.
	Critical	17. Coastal Groundwater Study Zone.
	NO	18. Highly Scenic Area/Special Communities.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	19. Land Capabilities/Natural Hazards Map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	20. Habitats/ESHA/Resources Map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	21. Appealable Area/Original Jurisdiction Map. Greater than 300-feet from Coastal Bluff
<input type="checkbox"/>	<input checked="" type="checkbox"/>	22. Blayney-Dyett Map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	23. Ocean Front Parcel (Blufftop Geology).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	24. Adjacent to beach/tidelands/submerged land/Public Trust Land.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	25. Noyo Harbor/Albion Harbor.

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www.co.mendocino.ca.us/planning



Case No(s)	CDP_2017-0048
CDF No(s)	
Date Filed	12-12-2017
Fee	\$ 4,052.00
Receipt No.	PRJ-018519
Received by	@WALDMANJ
Office Use Only	

COASTAL ZONE APPLICATION FORM

APPLICANT

Name Gerald Edmund Shuck
Mailing Address 29833 Woodbrook Street
City Farmington Hills State Michigan Zip Code 48334 Phone 248-539-8808

PROPERTY OWNER

Name Gerald Edmund Shuck
Mailing Address 29833 Woodbrook Street
City Farmington Hills State Michigan Zip Code 48334 Phone 248-539-8808

AGENT

Name Jay Andreis / ANDREIS DESIGN STUDIO
Mailing Address P.O. Box 699
City Fort Bragg State California Zip Code 95437 Phone 707-357-7969

PARCEL SIZE

21500

☒ Square feet
☐ Acres

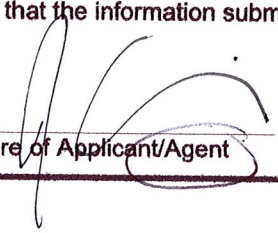
STREET ADDRESS OF PROJECT

10900 Palette Drive

ASSESSOR'S PARCEL NUMBER(S)

APN 119-060-20

I certify that the information submitted with this application is true and accurate.


Signature of Applicant/Agent

12/11/17
Date


Signature of Owner

29-SEP-17
Date

COASTAL ZONE - SITE AND PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information concerning your application to the Planning and Building Services Department and other agencies who will be reviewing your project proposal. Please remember that the clearer picture that you give us of your project and the site, the easier it will be to promptly process your application. Please answer all questions. Those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A".

THE PROJECT

1. Describe your project and include secondary improvements such as wells, septic systems, grading, vegetation removal, roads, etc.

Construction of new home on vacant residential lot.

2. If the project is residential, please complete the following:

TYPE OF UNIT	NUMBER OF STRUCTURES	SQUARE FEET PER DWELLING UNIT
<input checked="" type="checkbox"/> Single Family	<u>One</u>	<u>2484</u>
<input type="checkbox"/> Mobile Home	_____	_____
<input type="checkbox"/> Duplex	_____	_____
<input type="checkbox"/> Multifamily	_____	_____

If Multifamily, number of dwelling units per building: _____

3. If the project is commercial, industrial, or institutional, complete the following:

Total square footage of structures: _____
 Estimated employees per shift: _____
 Estimated shifts per day: _____
 Type of loading facilities proposed: _____

4. Will the proposed project be phased? ☐ Yes ☒ No
 If Yes, explain your plans for phasing.

5. Are there existing structures on the property? ☐ Yes ☒ No
If yes, describe below and identify the use of each structure on the plot plan.

6. Will any existing structures be demolished? ☐ Yes ☒ No
Will any existing structures be removed? ☐ Yes ☒ No

If yes to either question, describe the type of development to be demolished or removed, including the relocation site, if applicable.

7. Project Height. Maximum height of structure 22'-4" feet.

8. Lot area (within property lines): 21,500 ☒ square feet ☐ acres

9. Lot Coverage:

	EXISTING	NEW PROPOSED	TOTAL
Building coverage	_____ square feet	_____ square feet	<u>3360</u> square feet
Paved area	_____ square feet	_____ square feet	<u>920</u> square feet
Landscaped area	_____ square feet	_____ square feet	_____ square feet
Unimproved area	_____ square feet	_____ square feet	<u>17220</u> square feet

GRAND TOTAL: 21,500 square feet
(Should equal gross area of parcel)

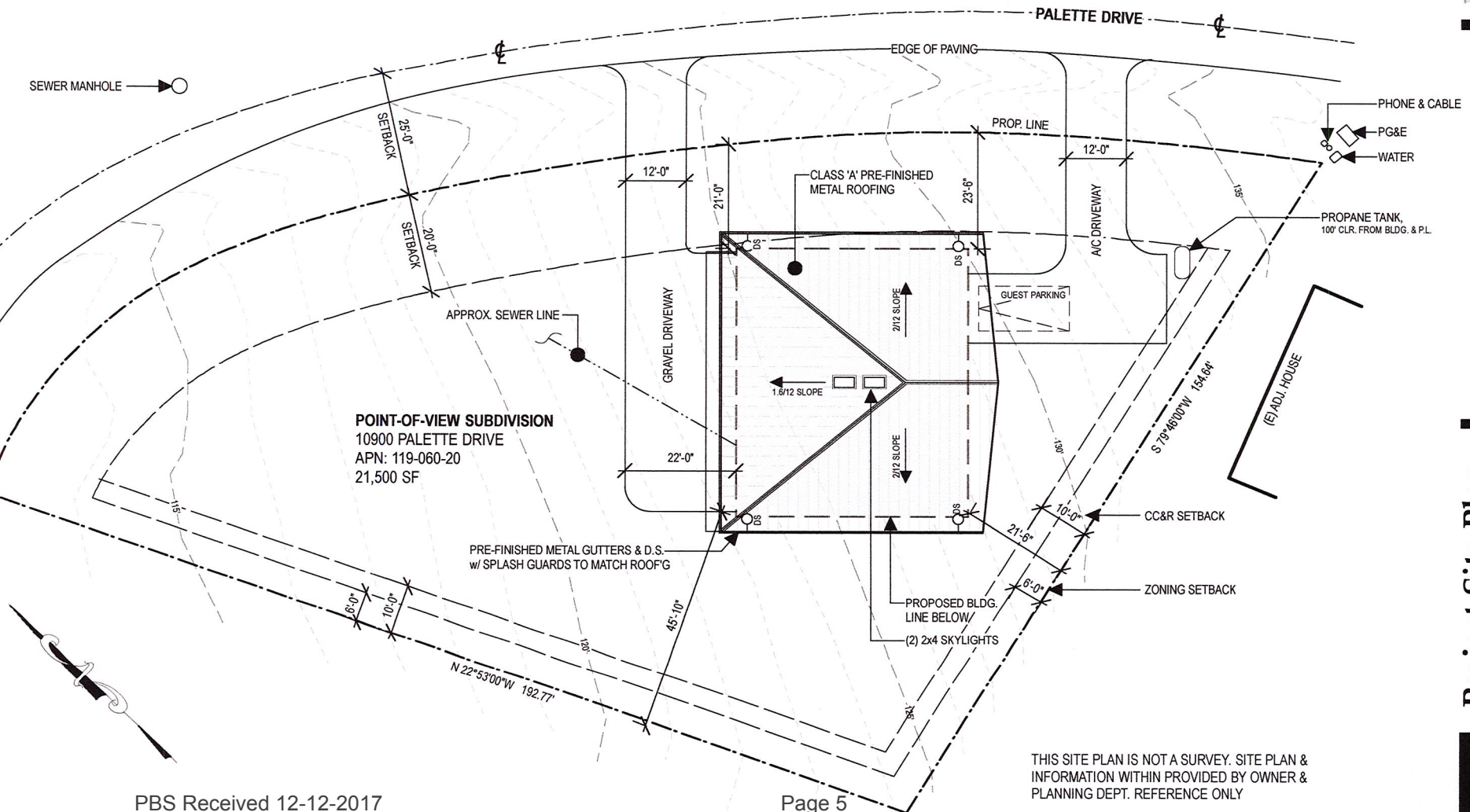
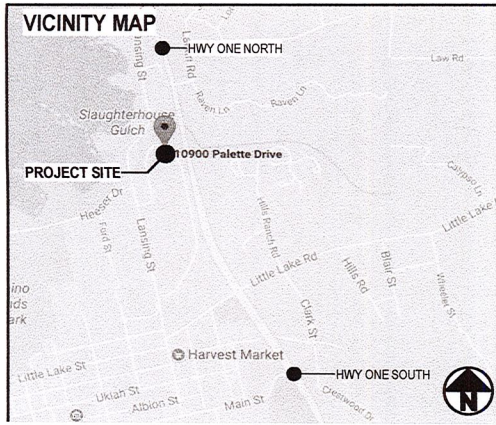
10. Gross floor area: 3810 square feet (including covered parking and accessory buildings).

11. Parking will be provided as follows:

Number of Spaces	Existing <u>0</u>	Proposed <u>3</u>	Total <u>3</u>
Number of covered spaces	_____	<u>2</u>	Size <u>9x20</u>
Number of uncovered spaces	_____	<u>1</u>	Size <u>9x20</u>
Number of standard spaces	_____	_____	Size _____
Number of handicapped spaces	_____	_____	Size _____

17.	Will vegetation be removed on areas other than the building sites and roads? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, explain:
18.	Does the project involve sand removal, mining or gravel extraction? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, detailed extraction, reclamation and monitoring may be required.
19.	Will the proposed development convert land currently or previously used for agriculture to another use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, how many acres will be converted? _____ acres (An agricultural economic feasibility study may be required.)
20.	Will the development provide public or private recreational opportunities? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, explain:
21.	Is the proposed development visible from: A. State Highway 1 or other scenic route? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No B. Park, beach or recreation area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
22.	Will the project involve the use or disposal of potentially hazardous materials such as toxic substances, flammables, or explosives? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, explain:
23.	Does the development involve diking, filling, dredging or placing structures in open coastal waters, wetlands, estuaries or lakes? A. Diking <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No B. Filling <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No C. Dredging <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No D. Placement of structures in open coastal waters, wetlands, estuaries or lakes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Amount of material to be dredged or filled? _____ cubic yards. Location of dredged material disposal site: _____ Has a U.S. Army Corps of Engineers permit been applied for? <input type="checkbox"/> Yes <input type="checkbox"/> No

If you need additional room to answer any question, attach additional sheets.



SHUCK RESIDENCE

Project Site Plan

10900 Palette Drive
Mendocino, California
APN: 119-060-20

Project: Shuck CDP
Date: 12/8/2017

1.0

DIRECTORY

Owner:
Gerald Shuck
29833 Woodbrook Street
Farmington Hills, MI 48334
248-539-8808

Contractor:
TBD

Owner Agent / Designer:
Andreis Design Studio
Jay Andreis
P.O.Box 699
Fort Bragg, CA 95437
707-357-7969
jay@andreisdesign.com

Biologist:
Brooks Forestry Biologist
Elliott Brooks
P.O.Box 2122
Fort Bragg, CA 95437
707-498-4042
eli.bunyan@gmail.com

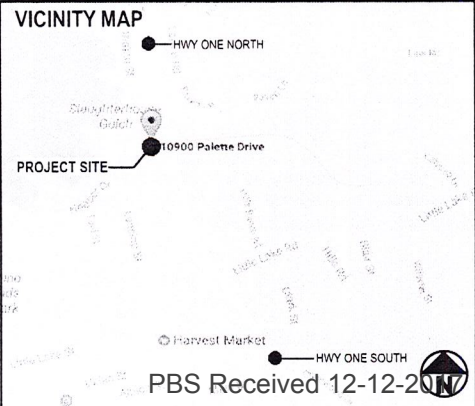
PROJECT INFORMATION

Job Address: 10900 Palette Drive
Mendocino, California 95460
APN: 119_060_20
Site Area: 21,500 SF
Zoning: RR

	Max. Allowed	Proposed
Coverage:	25%	20%
Max. Height:	28'0"	18'0"
Setbacks:		
Front	20'0"	24'3"
Sides	6'0"	24'0" & 49'8"
Rear	20'0"	N/A

Floor Area Calculations:	
Main Floor- Residence	2465 SF
Lower Floor- Garage & Workshop	1345 SF
Elevated Decks	725 SF

Coverage Calc.:
Roof + Decks + AC Paving / Site Area
 $(3200 + 160 + 920) / 21500 = .20 < .25$



PROJECT DESCRIPTION

The proposed project consists of:
- Construction of new 1945 SF single family residence & attached garage at main level over garage & workshop at lower level.
- New gravel driveway @ lower level, new asphalt driveway at main level.
- Proposed residence to extend to existing MCCSD water & sewer system.
- Proposed 200 amp electrical service to be underground from existing electrical at property line.

GENERAL NOTES

1. Lighting: All exterior lighting to be hooded down lights or recessed soffit fixtures and shall be directed away from adjacent parcels. Exterior lights to be placed at all proposed exits.
2. Septic: MCCSD
3. Water: MCCSD
4. Electrical: New 200 amp service proposed. Electrical to be underground from power pole. Trench to be located in field.
5. Heating: Radiant Floor System proposed, Title 24 compliant.
6. Water Heater: Propane water heater proposed.
7. Job Address must be posted at the job site and at county road. The building location shall be staked.
8. Drainage Notes:
 - Slope finish grade away from structure at min. 5% slope for min. 10'.
 - All drainage lines and gutters have a min. of .05% gradient to allow positive drainage.
9. Grading Notes:
 - No grading proposed outside of typical grading required for construction of structural foundation.
 - All paving surfaces slope a min. of 2% and all soil areas slope a min. of 5% and are sloped/ shaped to conduct water away from residence.
10. Landscaping: No landscaping proposed to be removed. New landscaping to be drought tolerant, native shrubs.
11. Fencing: no new fencing proposed.
12. FENESTRATION CALCULATION (west & south elev. only)
 - WEST ELEV: AREA = 66.7 SF GLAZING / 801 SF TOTAL = 8.3%
 - SOUTH ELEVATION: 154.8 SF GLAZING / 1128 SF TOTAL = 13.8%

Andreis Design Studio

P.O.Box 699 | Fort Bragg CA 95437
T: 707.357.7969

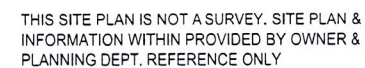
SHUCK RESIDENCE

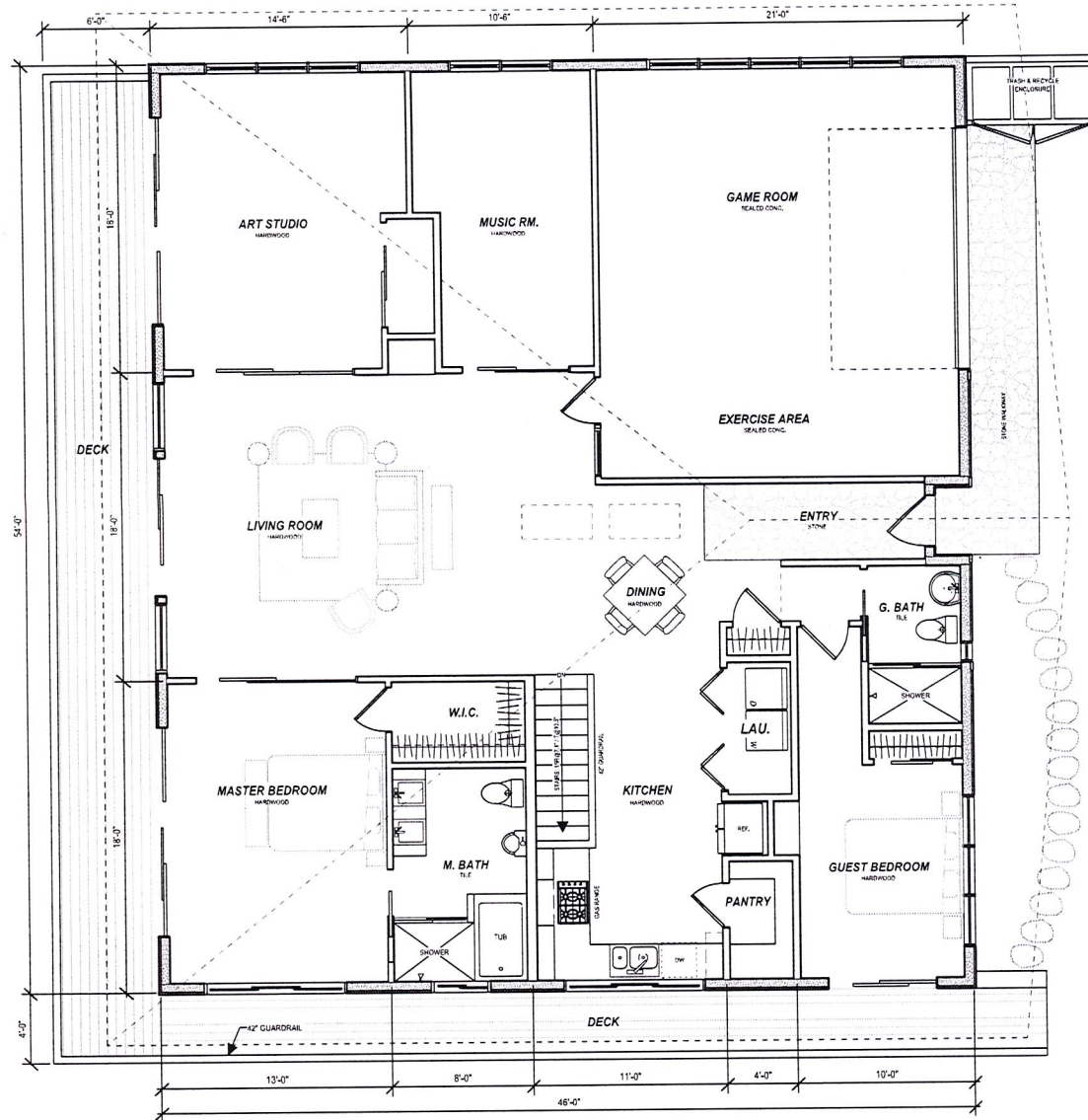
10900 Palette Drive
Mendocino, California
APN: 119-060-20

Project Information

Project: Shuck CDP
Date: 12/8/2017

0.1





1 FLOOR PLAN
Scale: 1/8" = 1'-0"

Andrew Design Studio

P.O.Box 699 | Fort Bragg CA 95437
T: 707.357.7969

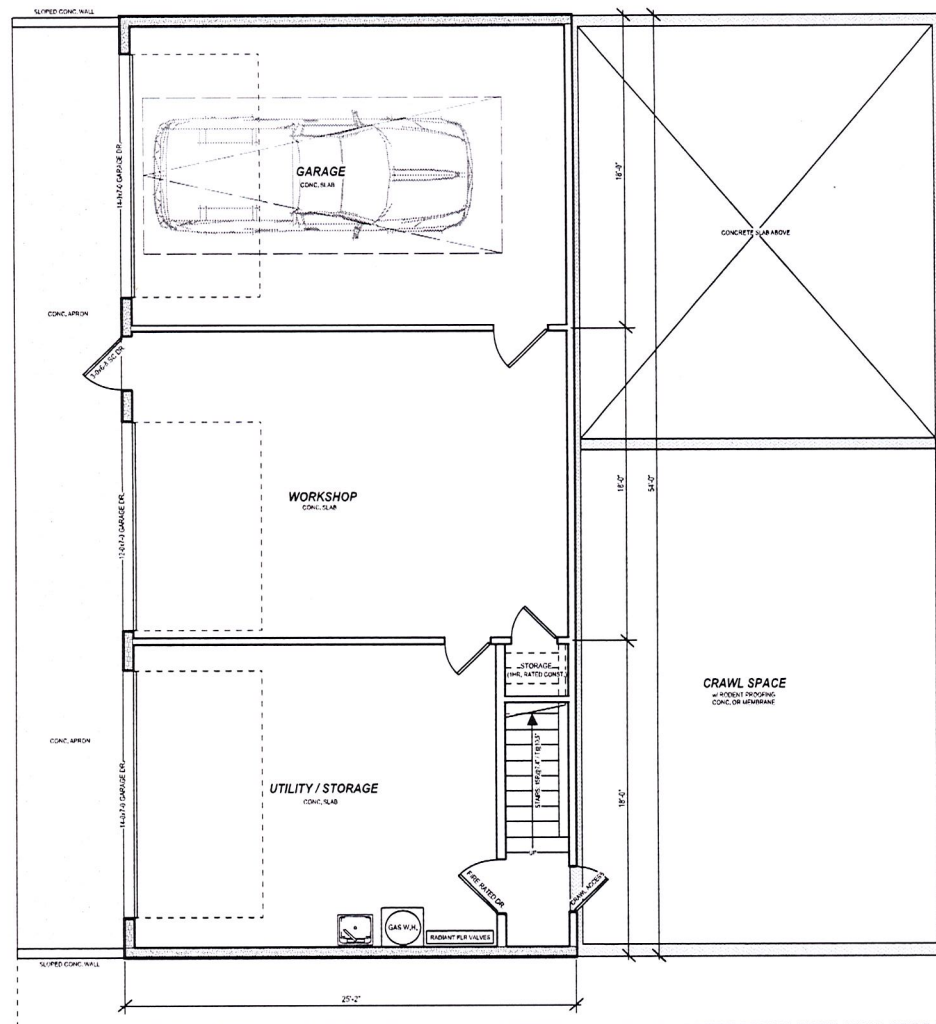
SHUCK RESIDENCE

10900 Palette Drive
Mendocino, California
APN: 119-060-20

Proposed
Main Floor Plan

Project: Shuck CDP
Date: 12/8/2017

2.0



2 LOWER FLOOR PLAN
Scale: 1/8" = 1'-0"

Design Studio

P.O.Box 699 | Fort Bragg CA 95437
T: 707.357.7969

SHUCK RESIDENCE

10900 Palette Drive
Mendocino, California
APN: 119-060-20

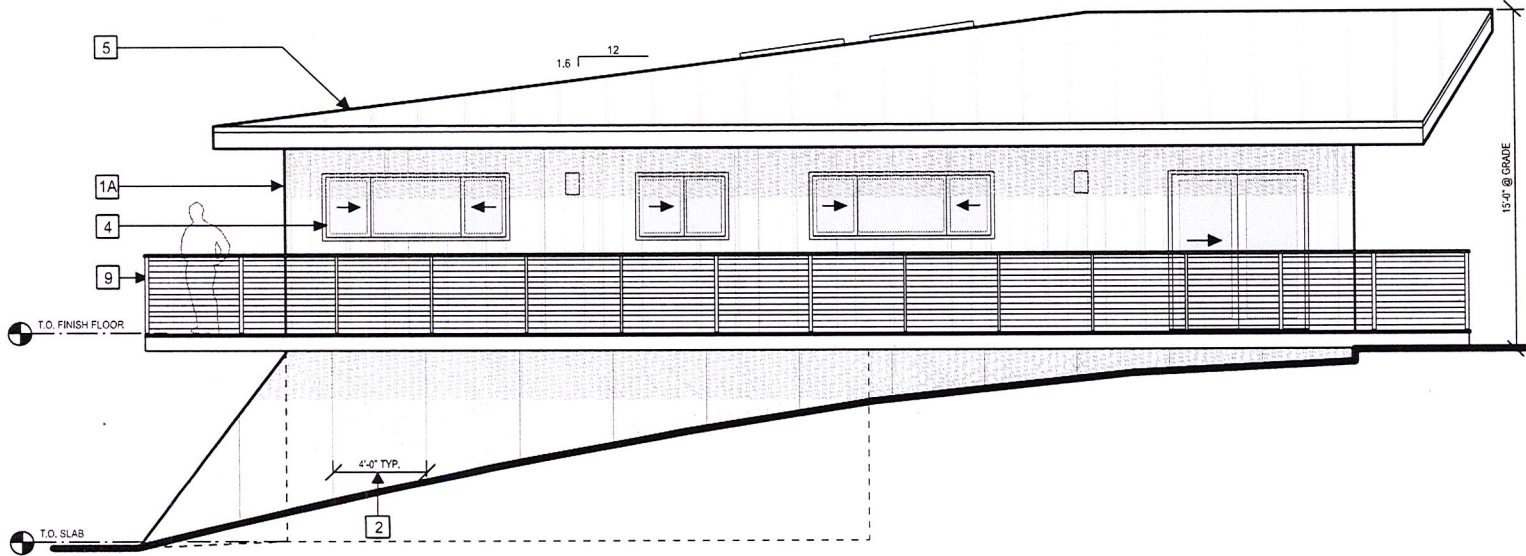
**Proposed
Lower Floor Plan**

Project: Shuck CDP
Date: 12/8/2017

2.1

Design Studio

P.O.Box 699 | Fort Bragg CA 95437
T: 707.357.7969

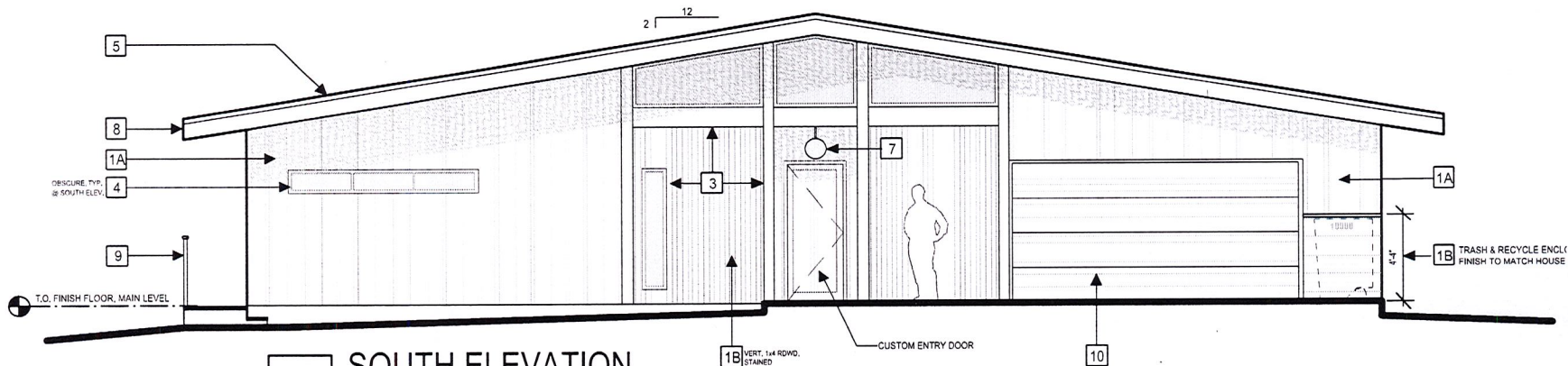


4

WEST ELEVATION

Scale: 1/8" = 1'-0"

- 1A EXTERIOR SIDING:
MAIN LEVEL: CLEAR REDWOOD BOARD & BATTEN @ 10" o.c.
color: Stained natural
LOWER LEVEL: HORIZ. 5/4x6 REDWOOD T&G V-GROOVE
color: Stained natural
- 1B EXTERIOR SIDING:
LOWER LEVEL: HORIZ. 5/4x6 REDWOOD T&G V-GROOVE
color: Stained natural
- 2 FOUNDATION & LANDSCAPING WALLS: SITE CAST CONCRETE
color: Natural Gray
- 3 TRIM & FASCIA: 2x REDWOOD TO MATCH SIDING
color: Stained natural
- 4 WINDOWS & PATIO DOORS: DUAL-PANETEMPERED GLASS
w/ ALUM CLAD FRAMES
color: Dark Bronze
- 5 ROOFING: CLASS 'A' STANDING SEAM METAL ROOF
color: Dark Bronze
- 6 DECKING: COMPOSITE DECKING BOARDS
color: Redwood
- 7 LIGHTING: ROOF MOUNTED PENDANT AT ENTRY, WALL MOUNTED
HOODED DOWN LIGHT EVERYWHERE ELSE, ALL LIGHTING TO BE LED OR
TITLE 24 COMPLIANT EQUAL
color: Anodized Bronze
- 8 GUTTER & DOWNSPOUTS: CONT. PRE-FINISHED ALUM.
color: To match roofing
- 9 RAILINGS: POWDER COATED STEEL POST (Black) w/ RDWD. TOP RAIL
& SS CABLES @ 3" o.c.
color: Sealed, natural
- 10 OVERHEAD DOOR: CUSTOM CLEAR REDWOOD
color: Stained natural



1

SOUTH ELEVATION

Scale: 1/8" = 1'-0"

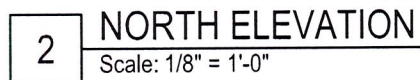
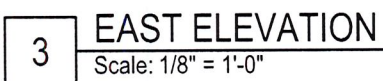
Exterior
Elevations

SHUCK RESIDENCE

10900 Palette Drive
Menocino, California
APN: 119-060-20

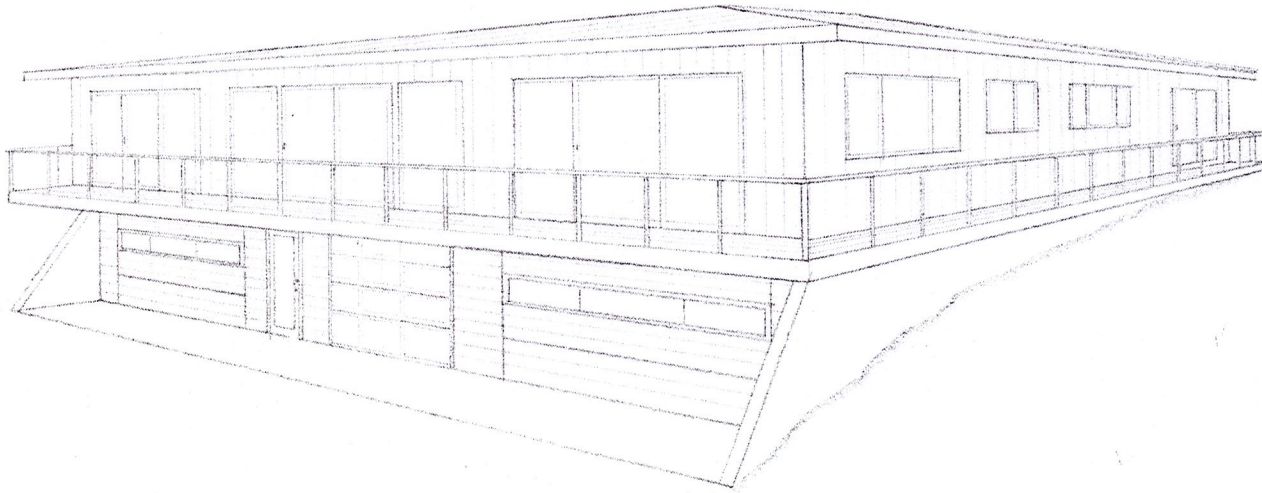
Project: Shuck CDP
Date: 12/8/2017

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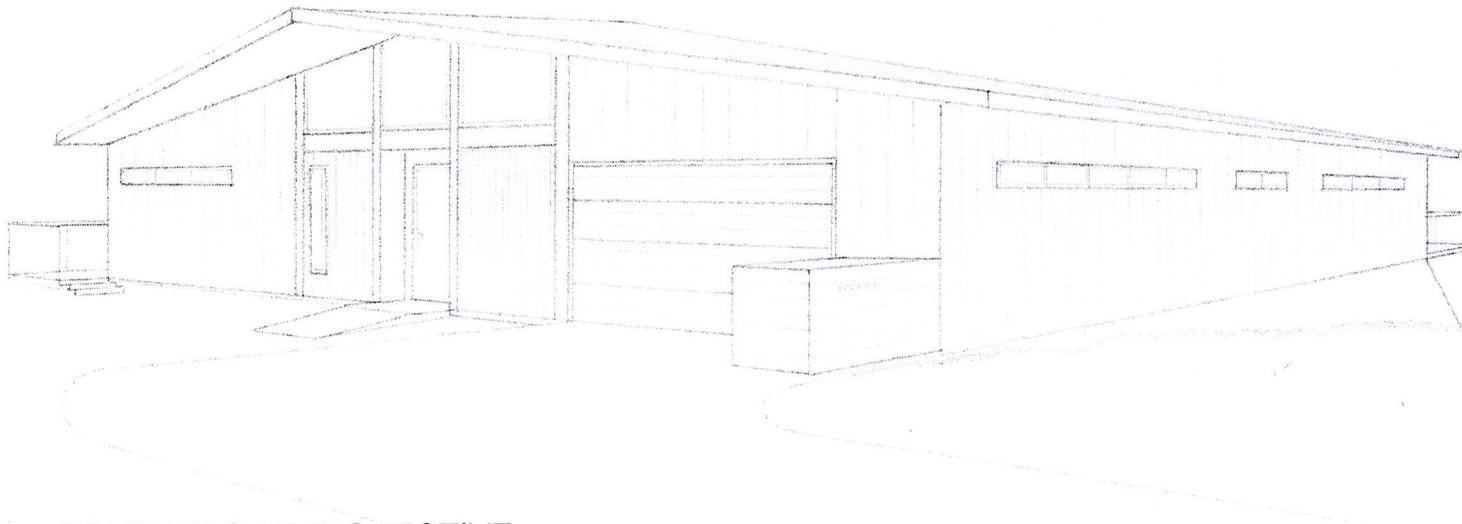


Andrzej Design Studio

P.O.Box 699 | Fort Bragg CA 95437
T: 707.357.7969



2 NORTHWEST PERSPECTIVE



1 SOUTHEAST PERSPECTIVE

SHUCK RESIDENCE

10900 Palette Drive
Mendocino, California
APN: 119-060-20

Perspective
Sketch

Project: Shuck CDP
Date: 12/8/2017

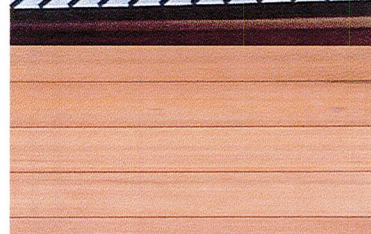
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SHUCK RESIDENCE

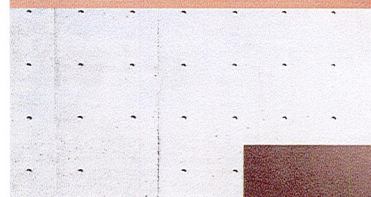
COLOR & MATERIALS BOARD



ROOFING: CLASS 'A' STANDING SEAM METAL ROOF
color: Dark Bronze
GUTTER & DOWNSPOUTS: CONT. PRE-FINISHED ALUM.
color: To match roofing



EXTERIOR SIDING: —————
MAIN LEVEL: CLEAR REDWOOD BOARD & BATTEN @ 10" o.c.
color: Stained natural
LOWER LEVEL: HORIZ. 5/4x6 REDWOOD T&G V-GROOVE
color: Stained natural
TRIM & FASCIA: 2x REDWOOD TO MATCH SIDING
color: Stained natural



FOUNDATION & LANDSCAPING WALLS: SITE CAST CONCRETE
color: Natural Gray



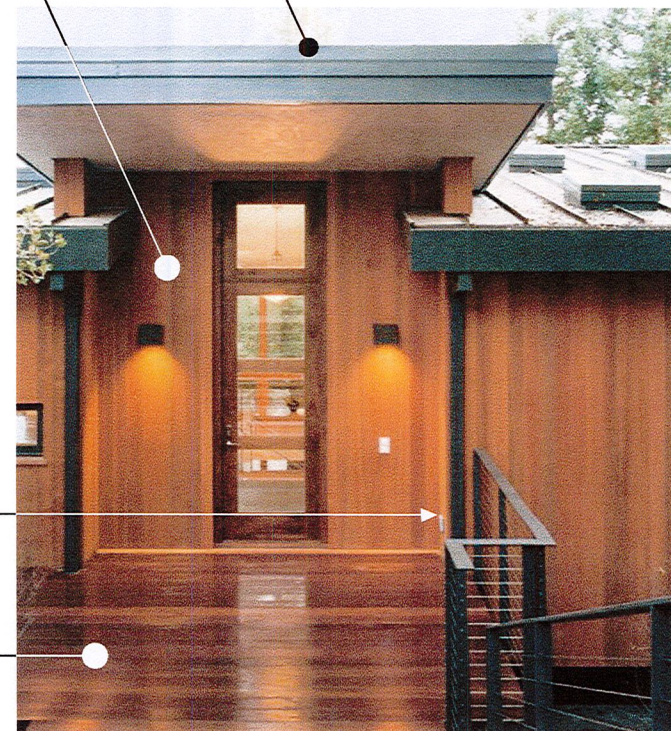
WINDOWS & PATIO DOORS: DUAL-PANETEMPERED GLASS
w/ ALUM CLAD FRAMES
color: Dark Bronze



RAILINGS: POWDER COATED STEEL POST (Black) w/ RDWD. TOP
RAIL & SS CABLES @ 3" o.c.
color: Sealed, natural

DECKING: COMPOSITE DECKING BOARDS
color: Redwood

OVERHEAD DOOR: CUSTOM CLEAR REDWOOD
color: Stained natural



Andreis Design Studio

www.andreisdesign.com

P.O.Box 699 | Fort Bragg CA 95437

T: 707.357.7969

PBS Received 12-12-2017

SHUCK RESIDENCE

10900 Palette Drive
Mendocino, California

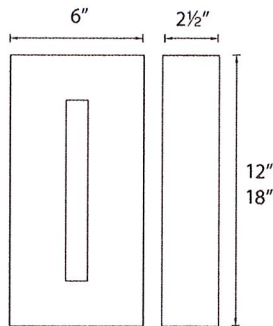
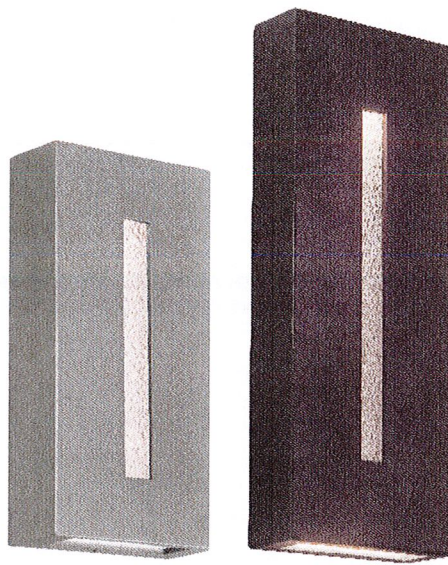
APN: 119-060-20

**Colors & Material
Board**

Project: Shuck CDP

Date: 12/8/2017

CM

TAO – model: WS-W53
dweLED™ LED Outdoor**WAC LIGHTING**
Responsible Lighting®Fixture Type: Catalog Number: Project: Location: **PRODUCT DESCRIPTION**

Architecturally harmonious form gravity cast from aluminum for structural durability. The architectural design features a sliver window of glass with an optical pattern for visual interest. Effective down lighting integrated for illuminating pathways. Wet location listed and ADA compliant for interior or exterior installations.



FEATURES

- IP65, ETL & cETL wet location listed
- Gravity cast aluminum housing
- Powder coat finishes
- Downlight adds functional path lighting
- Patterned crystal glass insert adds visual interest
- ADA compliant (interior / exterior)
- No driver or transformer needed
- Smooth and continuous ELV dimming
- 277V available (special order)

SPECIFICATIONS

- **Construction:** Sturdy gravity cast aluminum
- **Color Temperature:** 3000K
- **CRI:** 90

ORDERING NUMBER

Model#	Length	Watt	LED Lumens	Delivered Lumens	Finish
WS-W5312	12"	11W	830	220	BZ Bronze 
WS-W5318	18"	15W	1218	250	GH Graphite 

Example: **WS-W5318-GH**For 277V, add an "F" before the finish: **WS-W5318F-GH****wac**lighting.com
Phone (800) 526.2588
Fax (800) 526.2585**Headquarters/Eastern Distribution Center**
44 Harbor Park Drive
Port Washington, NY 11050**Central Distribution Center**
1600 Distribution Ct
Lithia Springs, GA 30122**Western Distribution Center**
1750 Archibald Avenue
Ontario, CA 91760

Owner/Agent Information

CAL FIRE File Number 510-17 Date 12/13/17
Owner's Last Name Shuck Owner's First Name Gerald
Owner's Phone Number 248-539-0808
Owner's Mailing Address 29833 Woodbrook st. Agent/Phone # Jav Andreis/ 707-357-7969
Farmington Hills, Mi. 48334

Project Information

Project Street # 10900 Project Street Name Palette dr. Type of Project residence
Project City/Community Mendocino Battalion 6 Fort Braqq Finaled ☐

Conditions of Approval

With reference to the above case number, the California Department of Forestry and Fire Protection requires the following MINIMUM standards as set forth in Title 14, "Natural Resources; Div. 1.5, be adhered to in order to gain a "Final Clearance" and "Approval for occupancy" from this Department. Local agencies may have additional requirements that may be more restrictive.

☒ **Address Standard**

California Code of Regulations, Title 14, Section 1274.01

Address must be posted at the beginning of construction and maintained thereafter. It shall be posted on BOTH sides of a mailbox or post at driveway entrance so it is visible from BOTH directions of travel. Minimum 3 inch letter height, 3/8 inch stroke. Reflectorized, contrasting with background color. Sequential numbering issued by Mendocino County will be utilized. Multiple Addresses will be on a single post.

☒ **Driveway Standard**

California Code of Regulations, Title 14, Section 1273.10

Driveway will be minimum 10 feet wide, all weather surface. It shall be a maximum of 16 % grade, minimum 50 feet inside radius on turns, and have a minimum 15 feet vertical clearance. Driveways longer than 150 feet, but less than 800 feet require a turnout near the midpoint. Driveways longer than 800 feet require turnouts every 400 feet. Turnouts shall be a minimum 10 feet wide and 30 feet long with a 25 foot taper at each end. A 40 foot radius turnaround or 60 foot hammerhead "T" is required for driveways longer than 300 feet and must be within 50 feet of the building. Gates will be 2 feet wider than the traffic lane and located at least 30 feet in from the road.

☐ **Road Standard**

California Code of Regulations, Title 14, Section 1273

Roads will have two-10 foot traffic lanes (20 ft. wide road surface), Minimum 40,000 lb. load capacity, and have an all weather surface. Roads will have a maximum grade of 16%, a minimum curve radius of 50 foot, and a minimum of 15 foot vertical clearance. Dead end roads shall not exceed: 800 ft for parcels 1 acre or less - 1320 ft. for parcels 1 to 4.99 acres - 2640 ft. for parcels 5 to 19.99 acres - 5280 ft. for parcels 20 acres or larger. Dead end roads are also required to have turnarounds every 1320 ft. and at terminus. Turnarounds shall be a minimum 40 ft. radius or 60 ft. hammerhead "T". Roads shall be officially recognized by Mendocino County with approved signs at each intersection and visible for 100 feet from both directions. The sign shall be minimum 3 inch letter height, 3/8 inch stroke, reflectorized and contrasting with background color. One Way Road Standards (if approved) are available from this office.

☐ **Bridge Standard**

California Code of Regulations, Title 14, Section 1273.01

Bridges shall have a minimum 40,000 lb. load capacity, minimum 15 foot vertical clearance. Appropriate signing including: Weight limits, Vertical Clearance, One Way Road, Single Lane conditions shall be posted. One lane bridges shall provide an unobstructed view from one end to the other with turnouts at both ends.

☐ **Emergency Water Supply Standard**

California Code of Regulations, Title 14, Section 1275.01

Subdivisions shall meet or exceed either PUC Revised General Order #103, NFPA Standard 1231, or ISO Rural Class 8 Standard (local jurisdiction may require more as these are minimum standards). Fire Hydrant shall be 18 inches above grade, minimum 4 feet and maximum 12 feet from road or driveway. Hydrant shall be minimum 50 feet and maximum 1/2 mile from building it serves, and minimum 8 feet from flammable vegetation. Hydrant shall have 2 1/2 inch male National Hose fitting, suitable crash protection and located where Fire Apparatus using it will not block entry. Hydrant shall be identified with a 3 inch reflectorized blue dot on driveway sign, or placed within 3 feet of hydrant, or identified by blue highway marker as specified by State Fire Marshal.

☒ **Defensible Space Standard**

California Code of Regulations, Title 14, Section 1276.01

All parcels 1 acre or larger shall provide a minimum 30 foot setback for all buildings from all property lines and/or center of a road. All parcels less than 1 acre shall provide for same practical effect by standards set forth by local jurisdiction.

☒ **Maintaining Defensible Space**

Public Resources Code, Section 4291

Any person who owns, leases, or controls any property within the State Responsibility Area, shall at all times maintain a firebreak by clearing an area of all flammable vegetation or other combustible material 30 feet immediately around and adjacent to any building or structure. Additionally, a fuel reduction zone is required for an additional 70 feet or to the property line, whichever is nearer, this zone shall eliminate the fuel continuity. The total defensible space is 100 feet or to the property line. This subdivision does not apply to single specimens of trees, ornamental shrubbery, or similar plants which are used as ground cover, if they do not form a means of rapidly transmitting fire from the native growth to any building or structure.

CAL FIRE: ADDITIONAL COMMENTS:

Ryan Smith, Battalion Chief

By:

Mitch Bosma Forestry Aide 

Reviewing Official

Patricia Austin
Fire Prevention Bureau



DEPARTMENT OF FORESTRY AND FIRE PROTECTION

Mendocino Unit
17501 North Highway 101
Willits, CA 95490
(707) 459-7414
Website: www.fire.ca.gov

CAL FIRE File #

To be completed by CAL FIRE

-OFFICE USE ONLY-

STATE FIRE SAFE REGULATIONS APPLICATIONS FORM

Please complete the following and submit to the California Department of Forestry and Fire Protection (CAL FIRE). **See the attached Homeowner's Summary of Fire Prevention and Loss Reductions Laws to ensure your plans will meet the requirements. If not, you will be required to propose and submit an exemption (Detailed in Item #19) for the Department's review. Failure to submit a proposed exemption when required will result in delays. CAL FIRE will strive to work with landowners who require an exemption, however, submitting an exemption in itself, does not guarantee it will be accepted by CAL FIRE.**

1. Name, Mailing Address and Phone Number of Property Owner:

GERALD SHUCK
29833 WOODBROOK ST.
FARMINGTON HILLS, MI 48334
Phone: 248-539-0808

2. Name, Mailing Address and Phone Number of Agent representing the Property Owner:

JAY ANDREIS
P.O. BOX 699
FORT BRAGG CA 95437
Phone: 707-357-7969

Mail correspondence to:

☐ Owner OR ☒ Agent OR ☐ Pick-up at Howard Forest

3. Address/Location of proposed building site:

10900 PALETTE DR
MENDOCINO CA 95460

APN: 119-060-20

CONSERVATION IS WISE-KEEP CALIFORNIA GREEN AND GOLDEN

PLEASE REMEMBER TO CONSERVE ENERGY. FOR TIPS AND INFORMATION, VISIT "FLEX YOUR POWER" AT WWW.CA.GOV

Is it accessible, gate, locked? If so, gate combination or instructions to access:

NO GATE

4. Type of Project – CHECK ONE

☐ Subdivision

Current acreage before split: _____

Number of new parcels to be created: _____

Acreage of newly created parcels: _____

☐ Use Permit

Describe your project, include dates, times, number of people, roads used or required, etc.

☒ Building Permit

☒ New building, ☐ Remodel, ☐ Class K, ☐ Replacement, ☐ Other

2465

Size in square feet of Single Family dwelling, if applicable.

1345

Size in square feet of attached garage, if applicable.

Size in square feet of proposed detached garage, if applicable.

Size in square feet of proposed accessory building(s), if applicable.

Size in square feet of other proposed structure, if applicable.

 TOTAL SQUARE FOOTAGE

Briefly describe the type of structure you will be building:

NEW SINGLE FAMILY RESIDENCE OVER GARAGE & WORKSHOP

5. ☒ Yes ☐ No -- Is project location map attached showing access to the site?

6. ☒ Yes ☐ No -- Was the subject parcel created PRIOR to January 1, 1992?

If NO please answer a & b below:

a. ☐ Yes ☐ No -- Is the structure within ½-mile driving distance of a working fire hydrant?

b. ☐ Yes ☐ No -- Is the structure within a 5-mile driving distance of a year round fire station?

Set Back Standard- If YES to # 7 and NO to # 8, an exemption will be required.

7. ☐ Yes ☒ No -- Is the subject parcel 1 acre or larger?

8. ☐ Yes ☒ No -- Will the proposed structure(s) be 30 ft. or more from ALL property lines?

Road and Driveway Standards -Roads or driveways deviating from the Standards will require an exemption.

9. ☐ Yes ☒ No -- Will your project require construction of a new road?

If so, how long in feet or miles? _____

If so, what is the maximum grade(%)? _____

10. ☐ Yes ☒ No -- Will your project require the extension of an existing road?

If so, how long in feet or miles? _____

If so, what is the maximum grade(%)? _____

11. ☒ Yes ☐ No -- Will your project require construction of a new driveway?

If so, how long in feet or miles? 40'

If so, what is the maximum grade(%)? 5%

12. ☐ Yes ☒ No -- Will your project require the extension of an existing driveway?

If so, how long in feet or miles? ~~111'~~

If so, what is the maximum grade(%)? ~~111%~~

13. If NO to 9-12 above, Describe the existing road/driveway:

N/A

14. Describe the turnout locations, their spacing, and the turnaround or hammerhead "T" related to your project and the standards ensure it meets the required standard or an exemption will be needed.

N/A

15. ☐ Yes ☒ No -- Are there existing bridges en route to the proposed project located on your property?

16. ☐ Yes ☒ No -- Will this project require any bridges to be constructed/installed?

CONSERVATION IS WISE-KEEP CALIFORNIA GREEN AND GOLDEN

Timber and Land Conversion Activities- FOR TIMBER RELATED QUESTIONS, PLEASE CALL 707-459-7440.

17. ☐ Yes ☒ No -- Will trees be cut and timber products sold, bartered, traded or exchanged?

If YES, may require a harvest permit from CAL FIRE Resource Management.

18. ☐ Yes ☒ No -- Will timberland be converted to non-timber growing use?

If YES, may require a harvest permit from CAL FIRE Resource Management.

Exemption Request

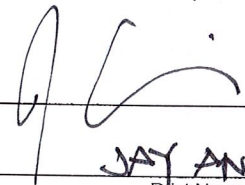
19. ☐ Yes ☒ No -- Are you requesting any exemptions to the Fire Safe Regulations?

If YES, attach a separate page identifying the applicable section of State Law pertinent to your request, material facts supporting the request, the details of the exemption or mitigation measures proposed, and a map showing the proposed location of the exemption or mitigation measure.

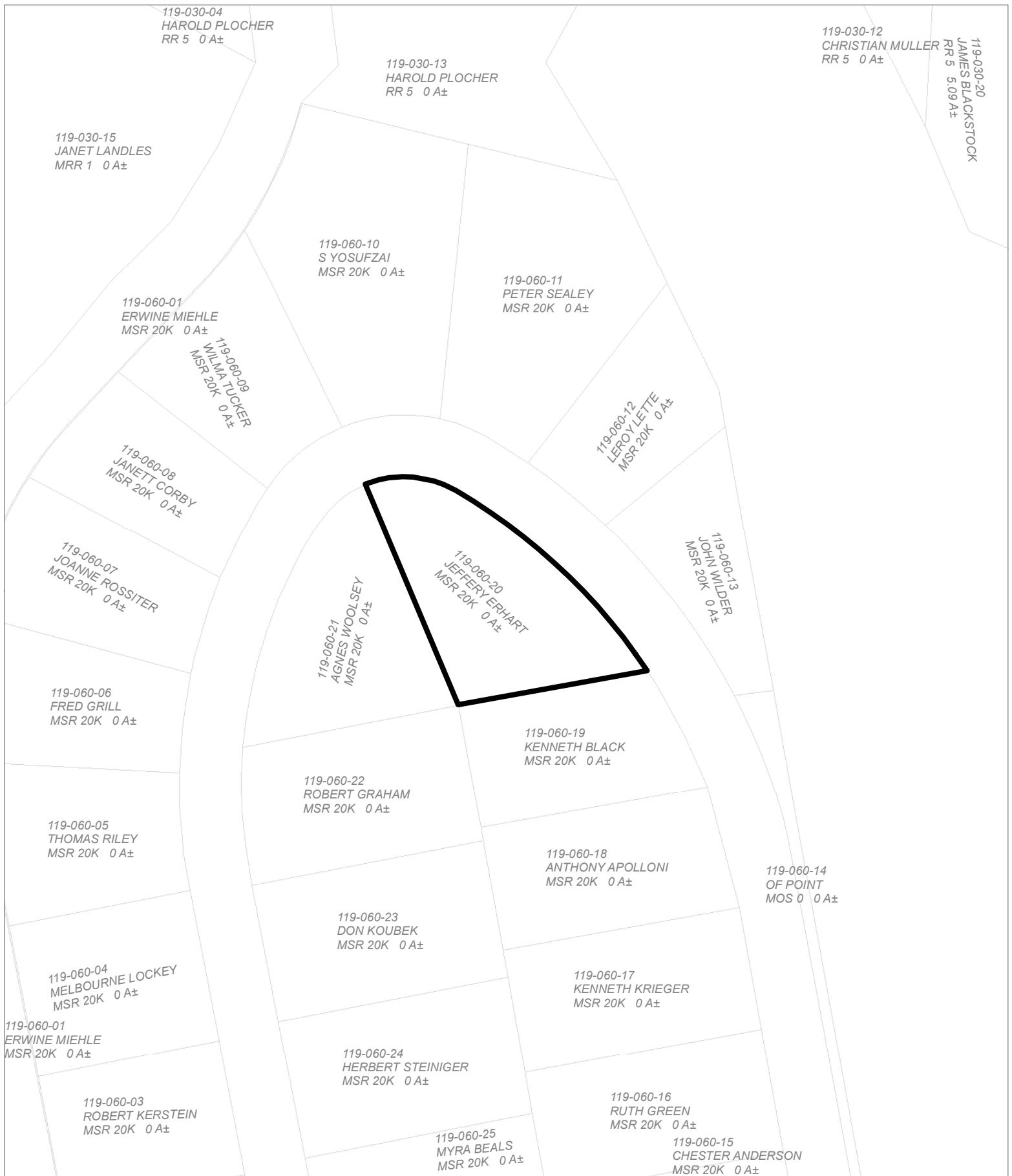
An exemption may be granted only if it is "necessary due to health, safety, environmental conditions, physical site limitations or other limiting conditions such as recorded historical sites" and if it "provides the same overall practical effect as these [fire safe] regulations towards providing defensible space." (Cal. Code Regs., tit. 14, §§ 1270.07, 1271.00.) An exemption may not allow avoidance of the standards. An exemption is an "alternative...that provides mitigation of the problem."

I hereby agree to maintain the property in compliance with the Fire Safe Requirements established in the Public Resources Code Section 4290.

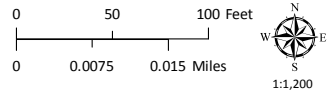
SIGNATURE OF PROPERTY OWNER OR AGENT



JAY ANDREIS
Print Name



CASE: CDP 2017-0048
OWNER: SHUCK, Gerald & Kimiko
APN: 119-060-20
APLCT: Gerald Shuck
AGENT: Jay Andreis
ADDRESS: 10900 Palette Drive, Mendocino



ADJACENT PARCELS

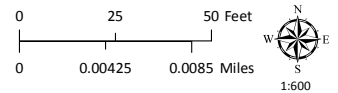
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Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

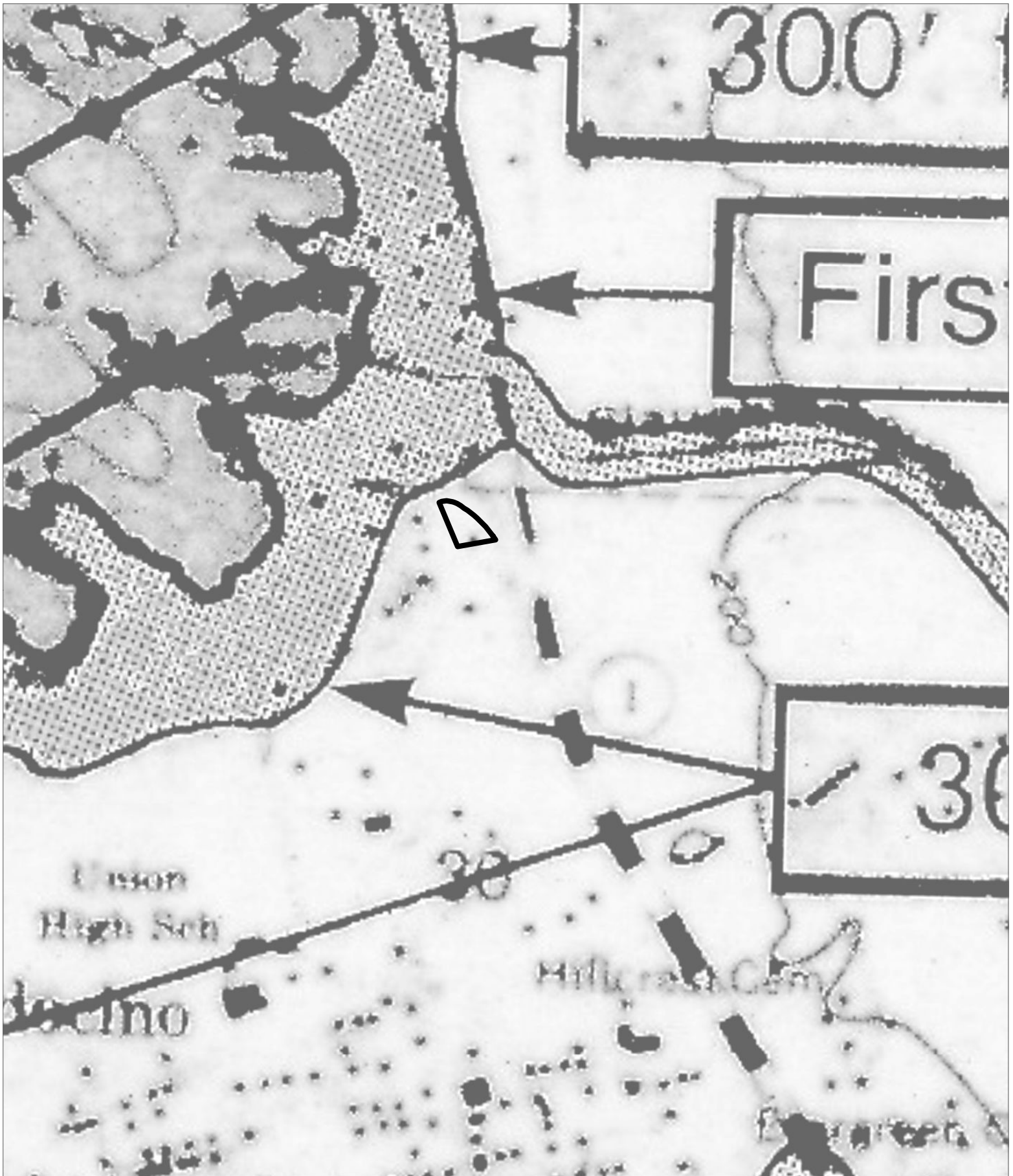
CASE: CDP 2017-0048
OWNER: SHUCK, Gerald & Kimiko
APN: 119-060-20
APLCT: Gerald Shuck
AGENT: Jay Andreis
ADDRESS: 10900 Palette Drive, Mendocino

Public Roads

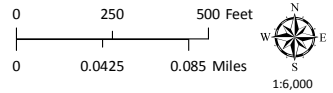


AERIAL IMAGERY

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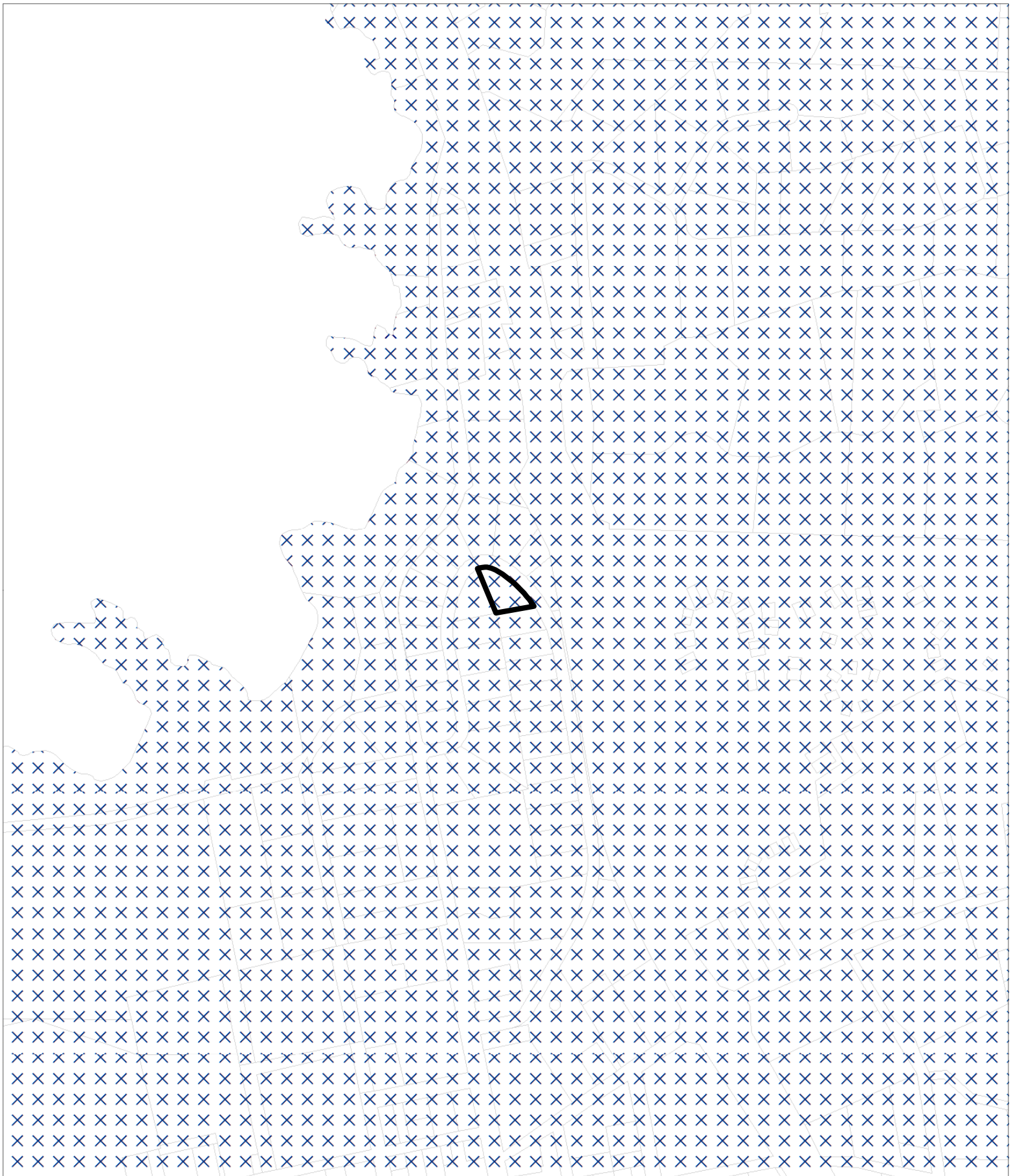


CASE: CDP 2017-0048
OWNER: SHUCK, GERAL & KIMIKO
APN: 119-060-20
APLCT: GERALD SHUCK
AGENT: JAY ANDREIS
ADDRESS: 10900 PALETTE DRIVE, MENDOCINO



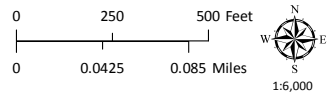
APPEALABLE AREAS

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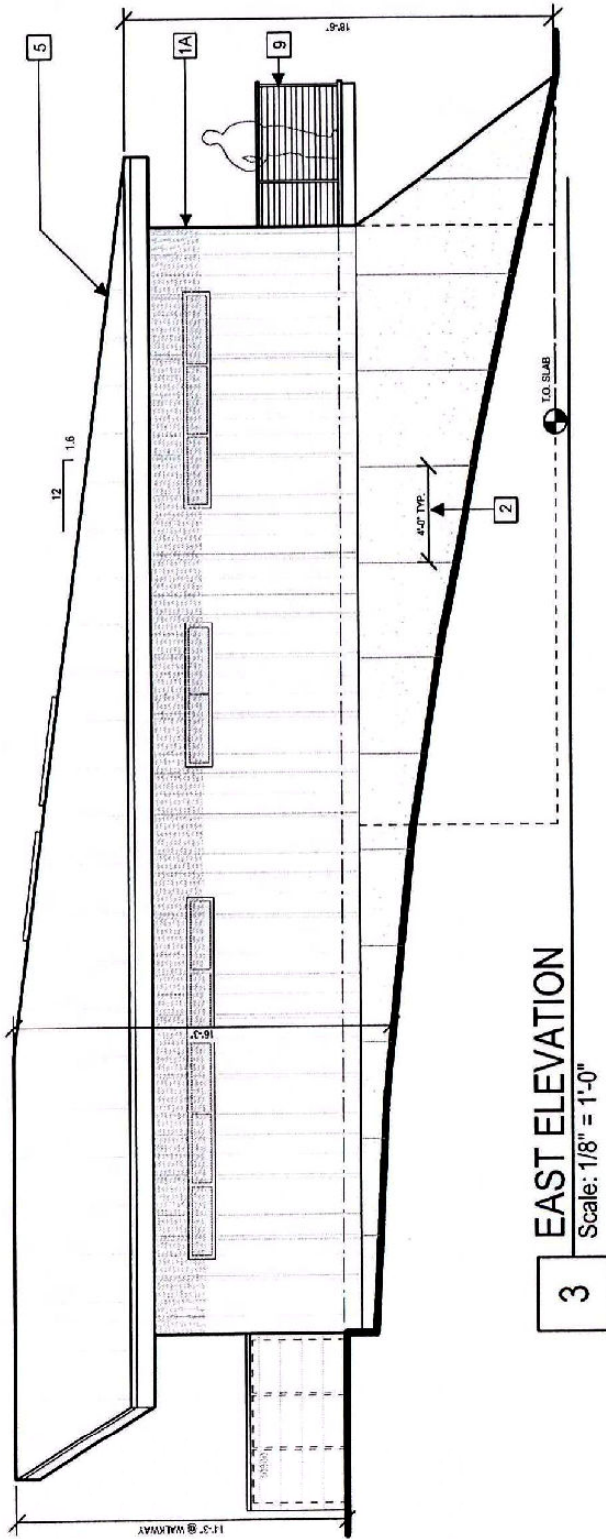
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OWNER: SHUCK, Gerald & Kimiko
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× × Critical Water Areas



GROUND WATER RESOURCES

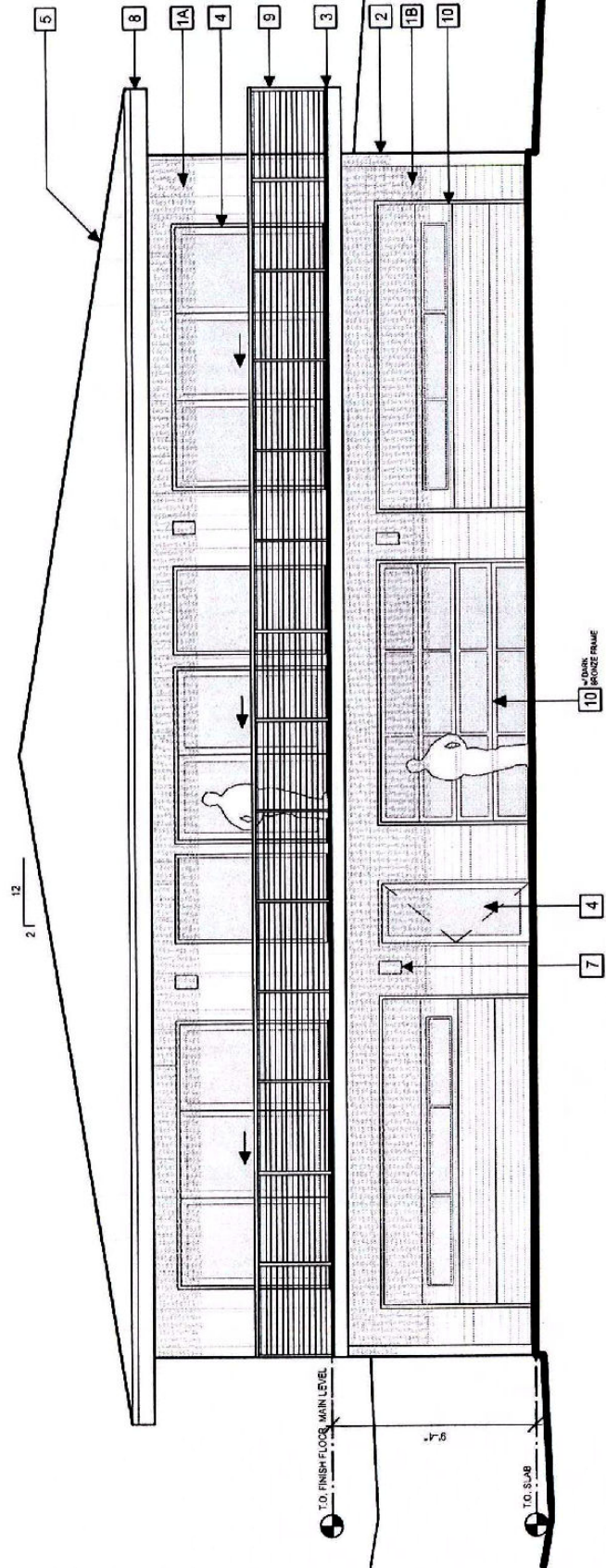
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EAST ELEVATION

Scale: 1/8" = 1'-0"

3



NORTH ELEVATION

Scale: 1/8" = 1'-0"

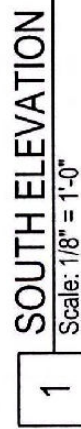
2

CASE: CDP 2017-0048
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 APN: 119-060-20
 APLCT: Gerald Shuck
 AGENT: Jay Andreis
 ADDRESS: 10900 Palette Drive, Mendocino

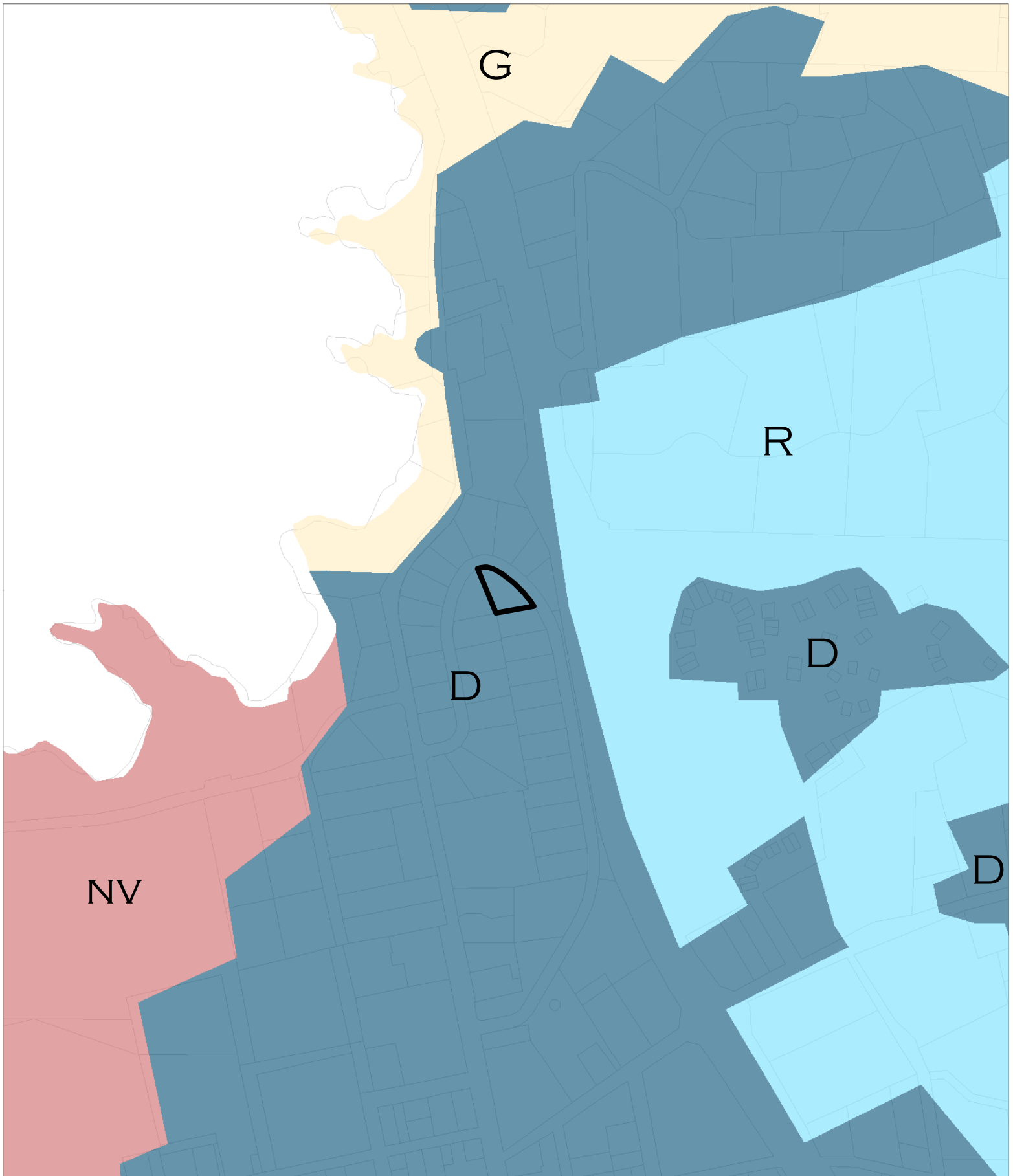
NO SCALE

ELEVATIONS NE

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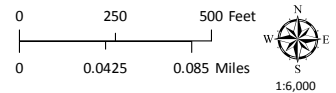


ELEVATIONS SW



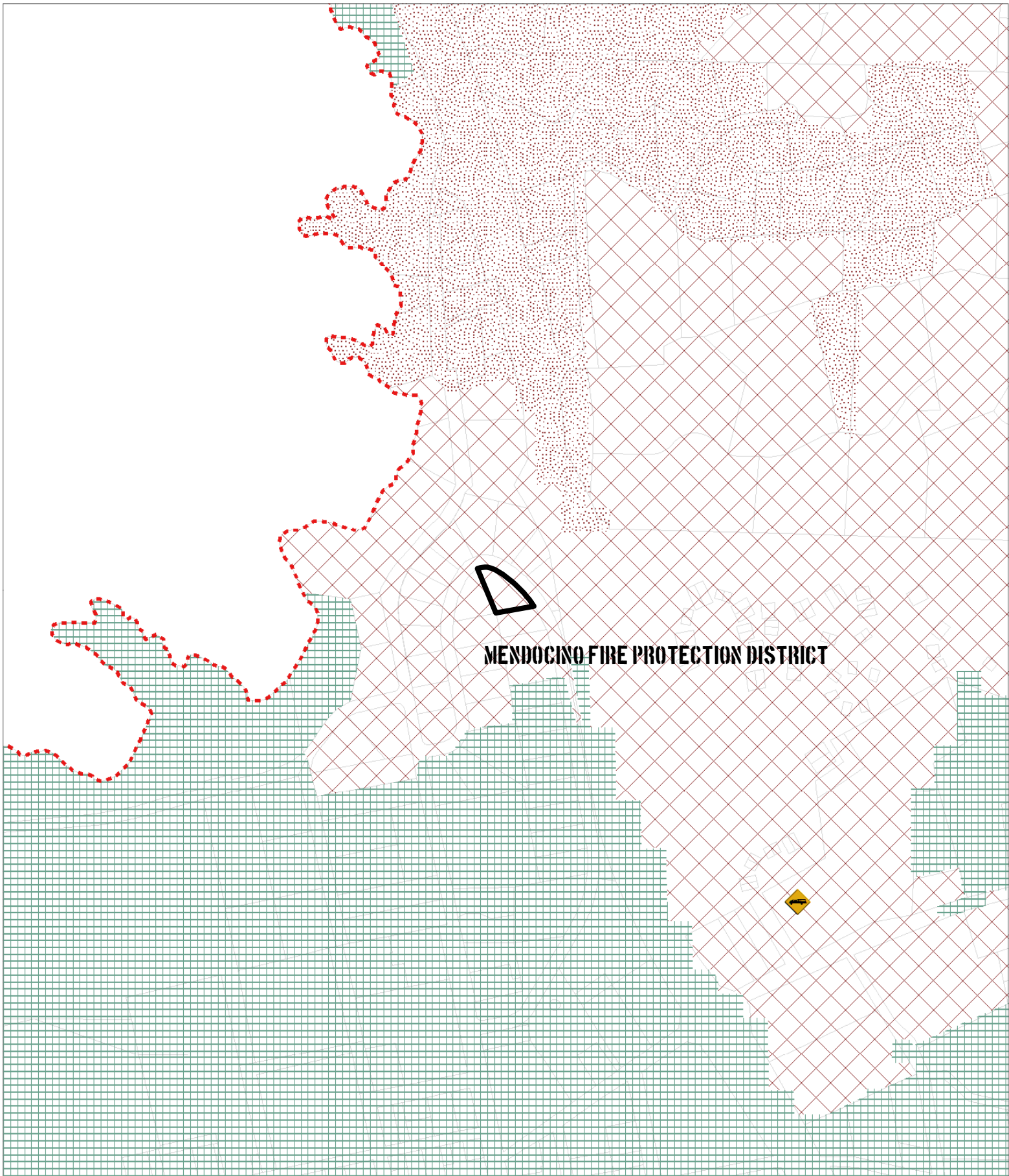
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- Grazing Land (G)
- Non-Ag & Natural Vegetation (nv)
- Rural Residential & Rural Commercial (R)








IMPORTANT FARMLAND

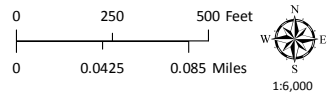
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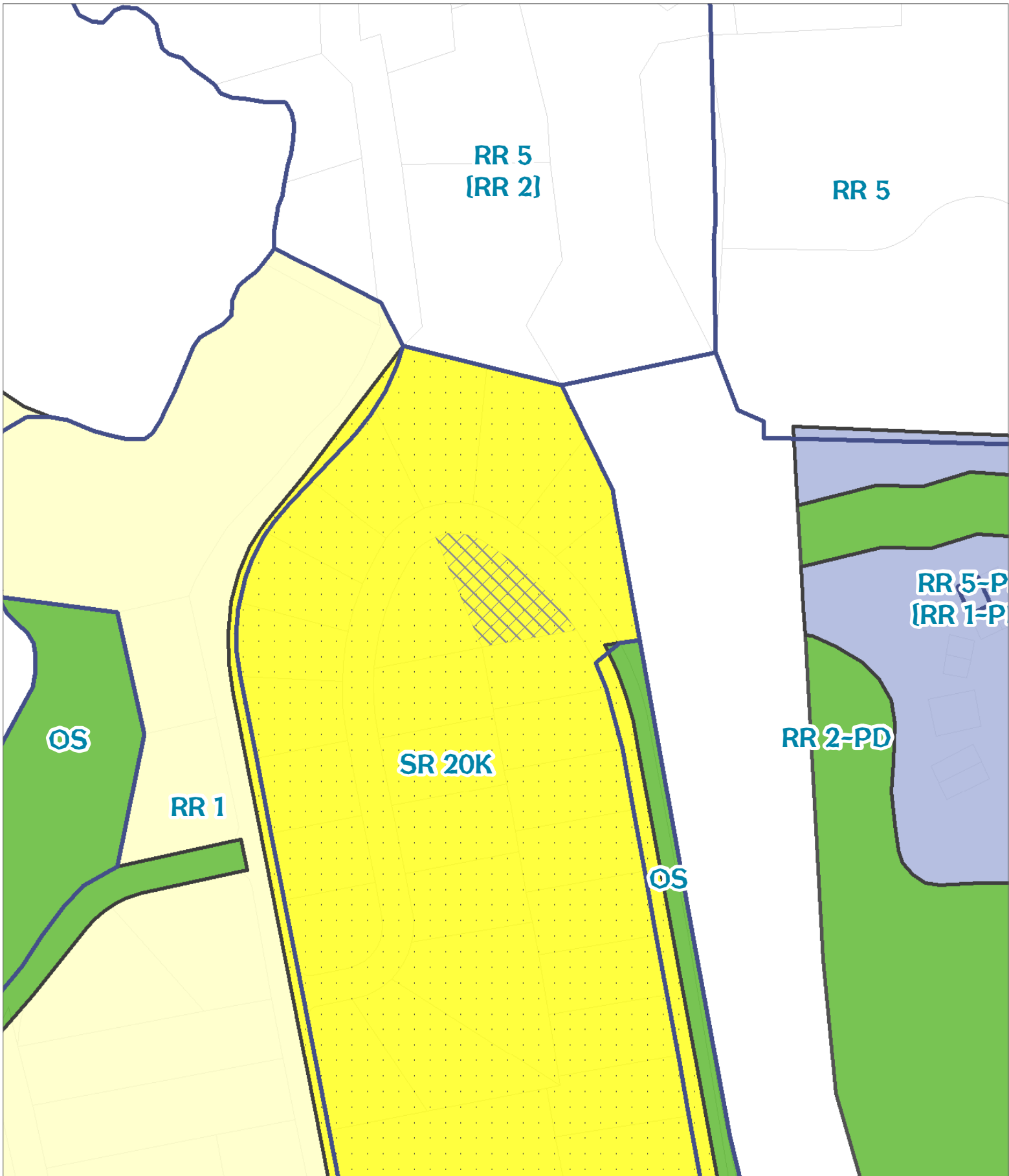
-  Fire Stations
-  County Fire Districts
-  Very High Fire Hazard

-  High Fire Hazard
-  Moderate Fire Hazard




FIRE HAZARD ZONES & RESPONSIBILITY AREAS
 STATE RESPONSIBILITY AREA

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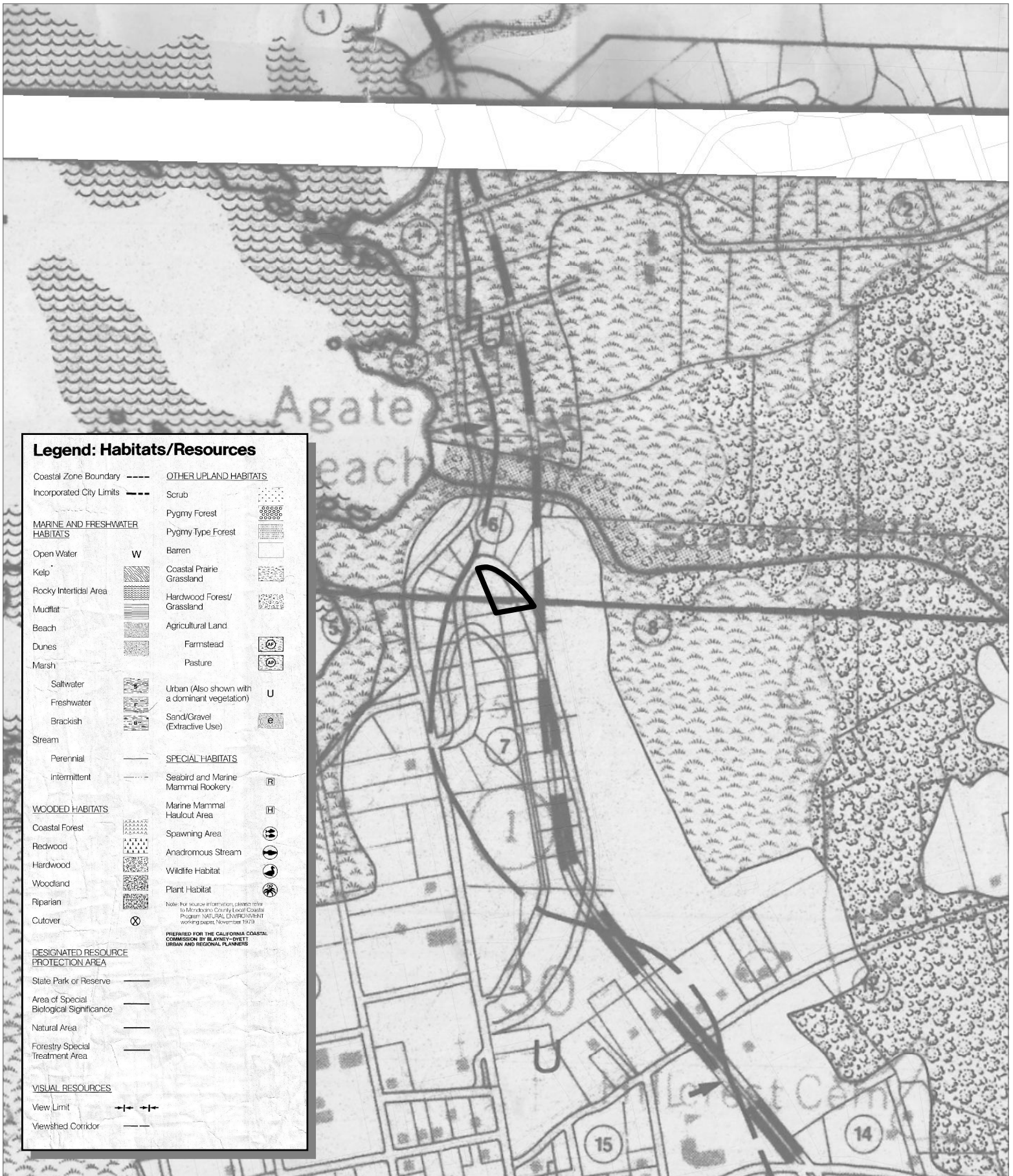


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 General Plan Classes

GENERAL PLAN CLASSIFICATIONS

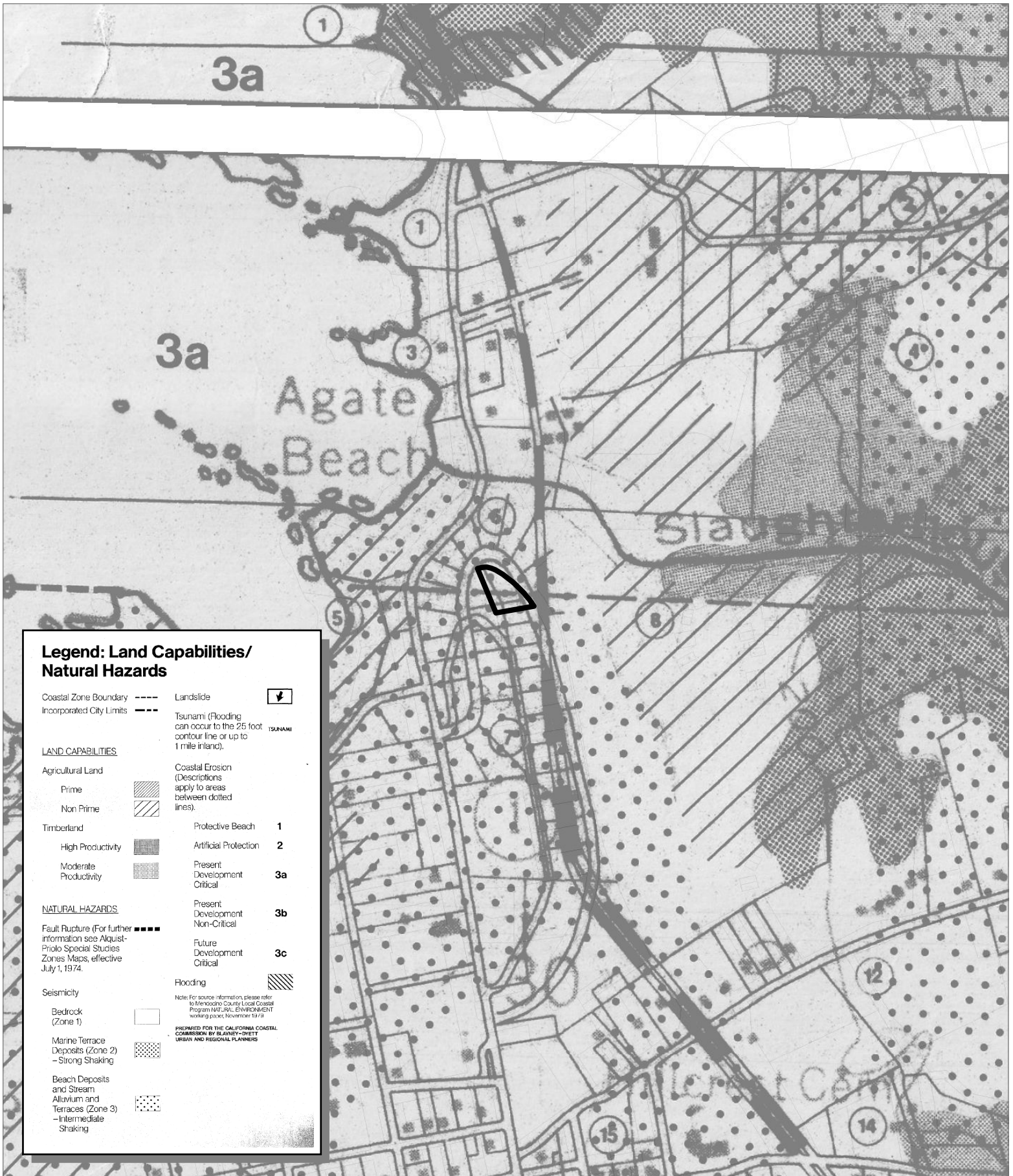
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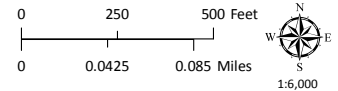
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LCP HABITATS & RESOURCES

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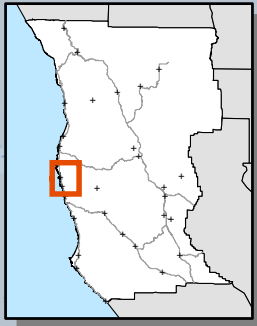




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LCP LAND CAPABILITIES & NATURAL HAZARDS

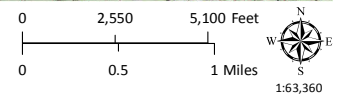
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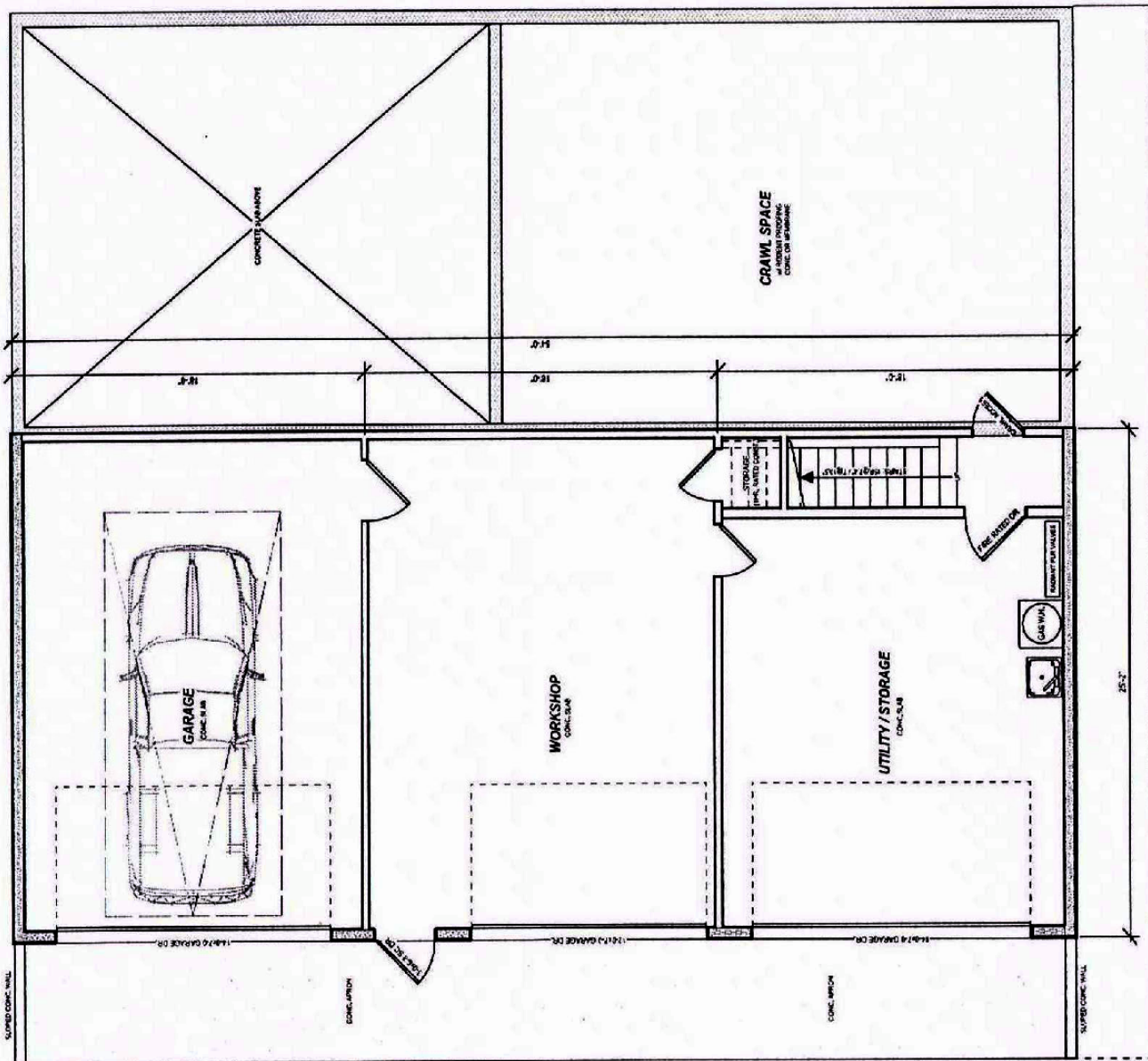
 Major Towns & Places
  Major Roads

 Major Rivers

 Highways



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2 LOWER FLOOR PLAN

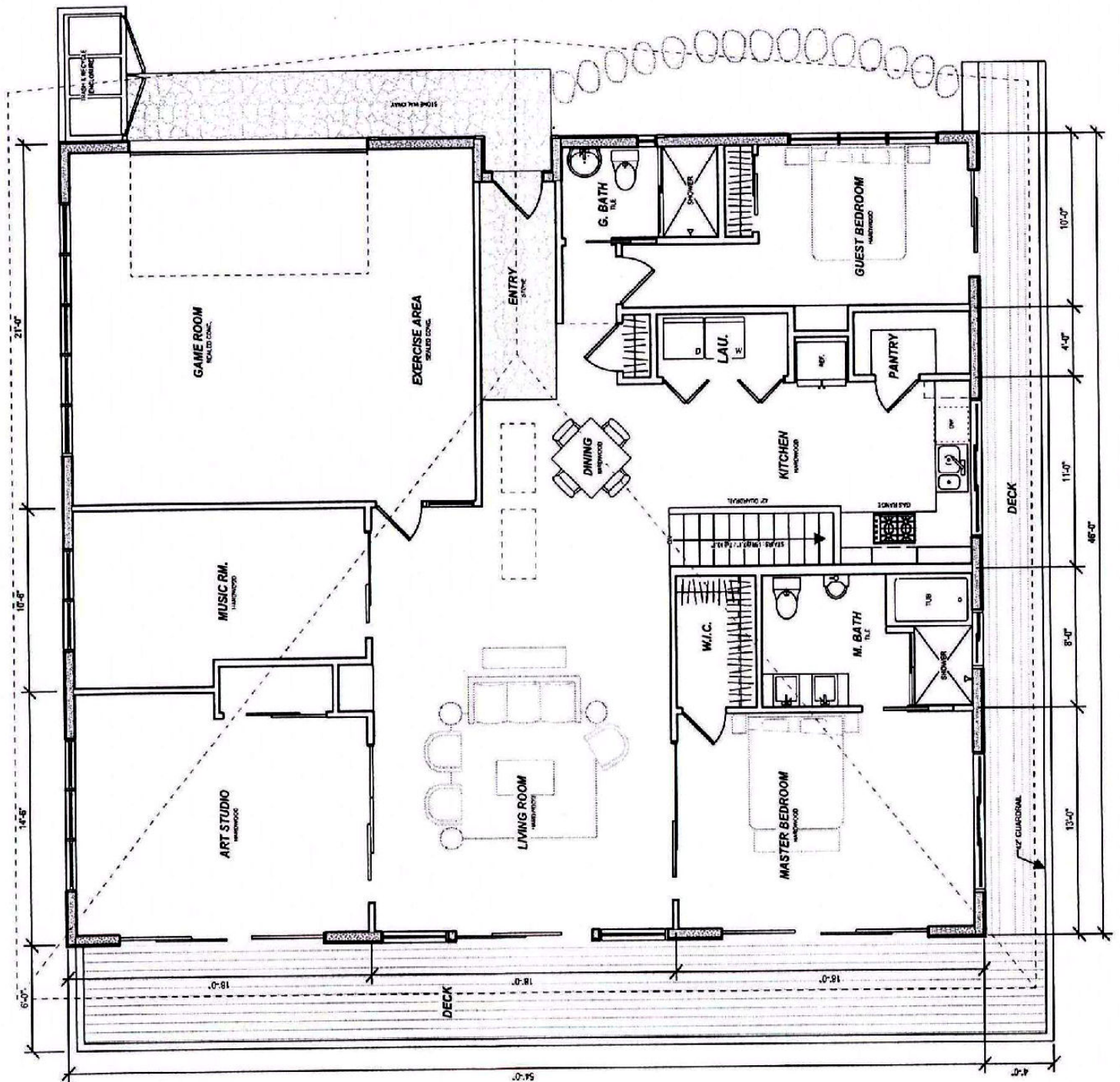
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CASE: CDP 2017-0048
 OWNER: SHUCK, Gerald & Kimiko
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 APLCT: Gerald Shuck
 AGENT: Jay Andreis
 ADDRESS: 10900 Palette Drive, Mendocino

NO SCALE

LOWER FLOOR PLAN

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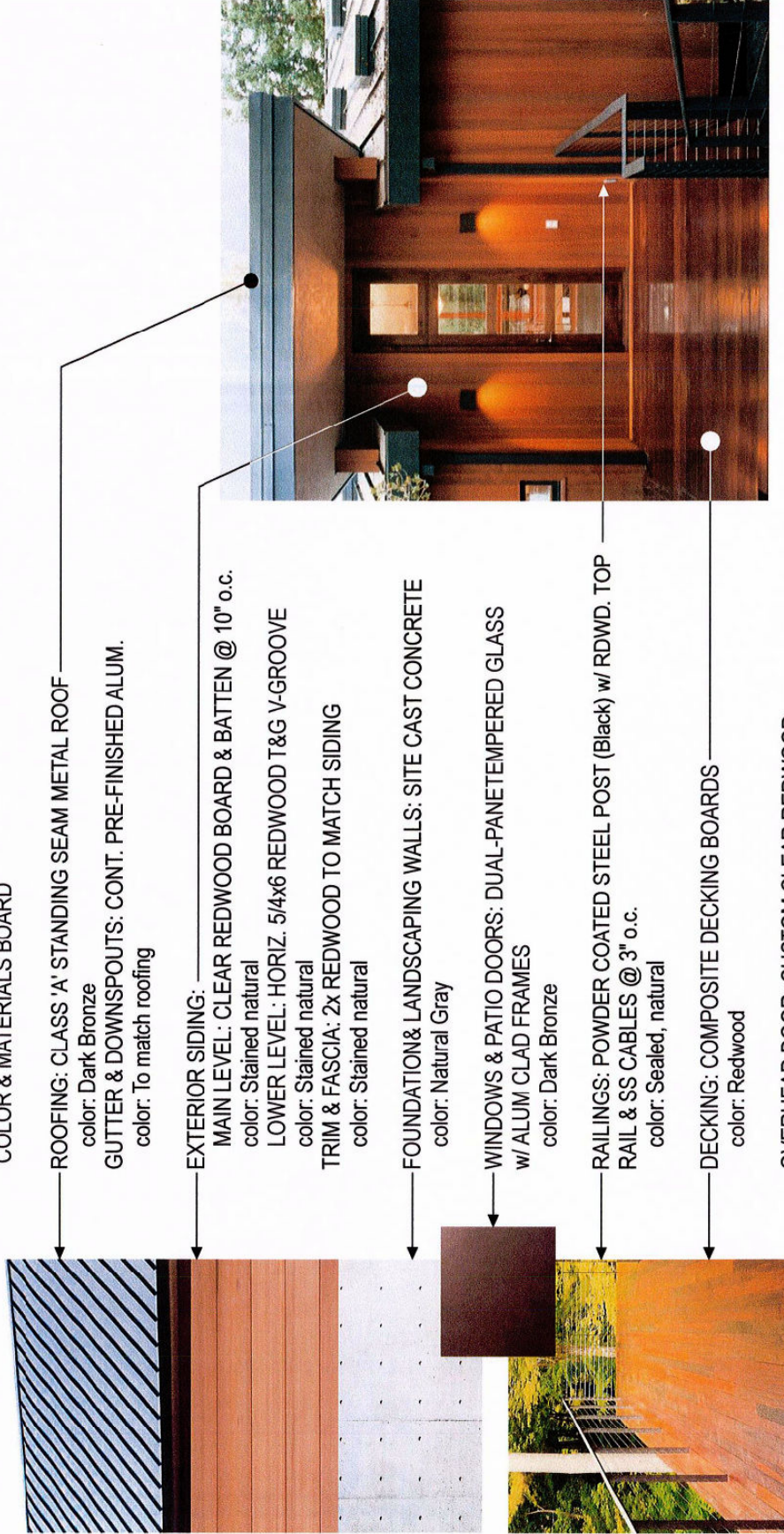
NO SCALE

MAIN FLOOR PLAN

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SHUCK RESIDENCE

COLOR & MATERIALS BOARD



ROOFING: CLASS 'A' STANDING SEAM METAL ROOF

color: Dark Bronze

GUTTER & DOWNSPOUTS: CONT. PRE-FINISHED ALUM.

color: To match roofing

EXTERIOR SIDING:

MAIN LEVEL: CLEAR REDWOOD BOARD & BATTEN @ 10" o.c.

color: Stained natural

LOWER LEVEL: HORIZ. 5/4x6 REDWOOD T&G V-GROOVE

color: Stained natural

TRIM & FASCIA: 2x REDWOOD TO MATCH SIDING

color: Stained natural

FOUNDATION & LANDSCAPING WALLS: SITE CAST CONCRETE

color: Natural Gray

WINDOWS & PATIO DOORS: DUAL-PANETEMPERED GLASS

w/ ALUM CLAD FRAMES

color: Dark Bronze

RAILINGS: POWDER COATED STEEL POST (Black) w/ RDWD. TOP

RAIL & SS CABLES @ 3" o.c.

color: Sealed, natural

DECKING: COMPOSITE DECKING BOARDS

color: Redwood

OVERHEAD DOOR: CUSTOM CLEAR REDWOOD

color: Stained natural

Andreis Design Studio
www.andreisdsgn.com

P.O.Box 699 | Fort Bragg CA 95437
T: 707.357.7969

SHUCK RESIDENCE
Colors & Material Board

Project: Shuck CDP

Date: 12/8/2017

CM

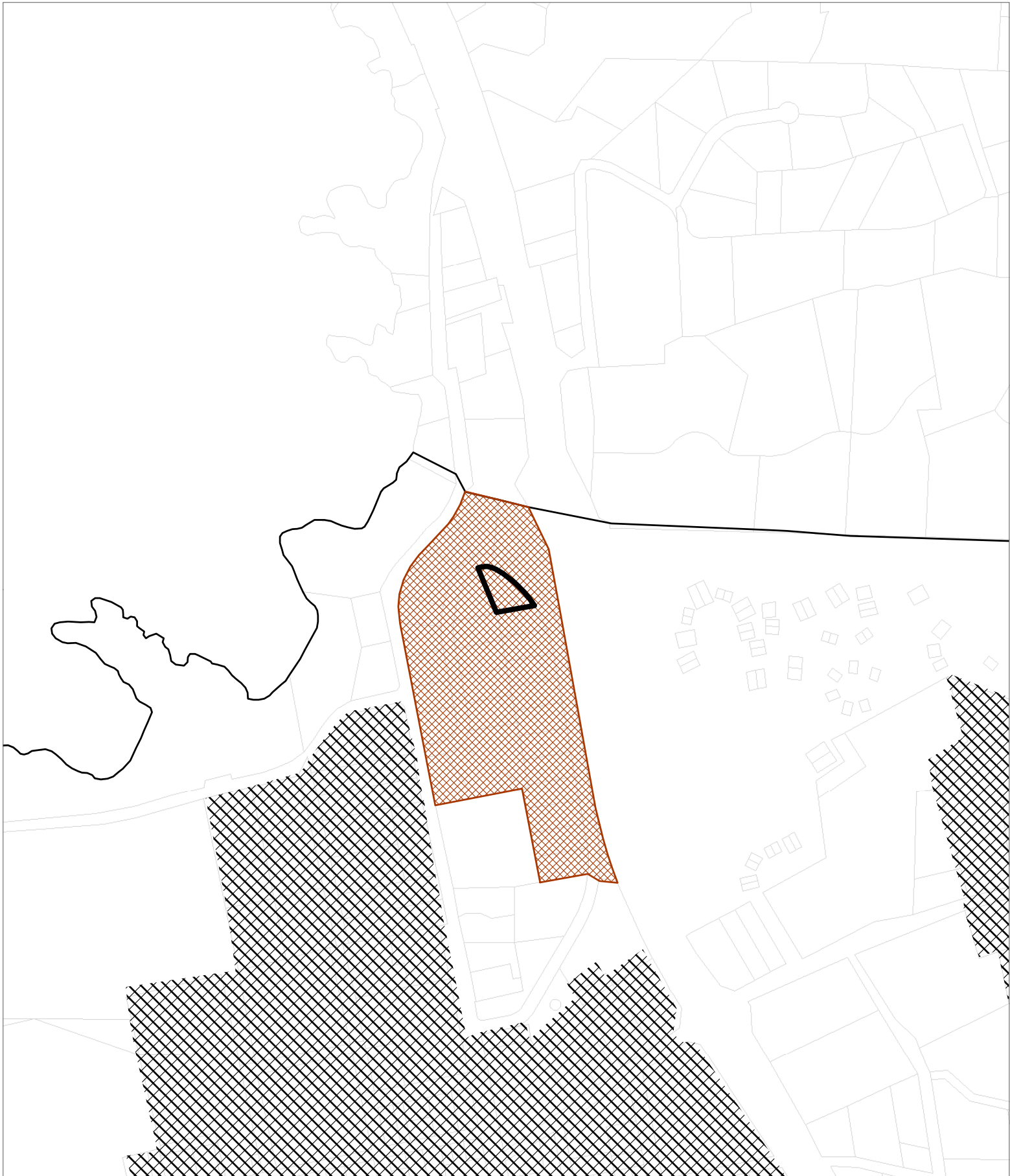
10900 Palette Drive
Mendocino, California
APN: 119-060-20

CASE: CDP 2017-0048
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


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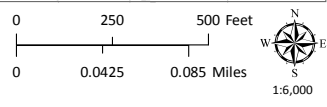
MATERIALS

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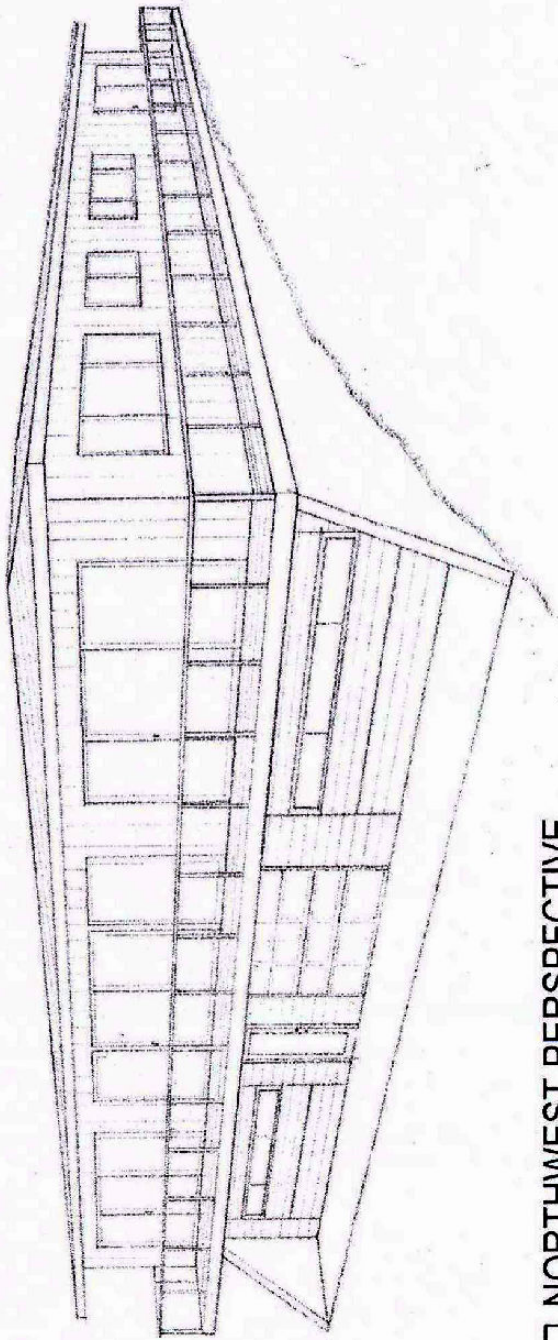
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AGENT: Jay Andreis
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-  Categorical Exclusion Zones
-  Point of View Estates Exclusion Zone
-  Mendocino Town Plan Boundary



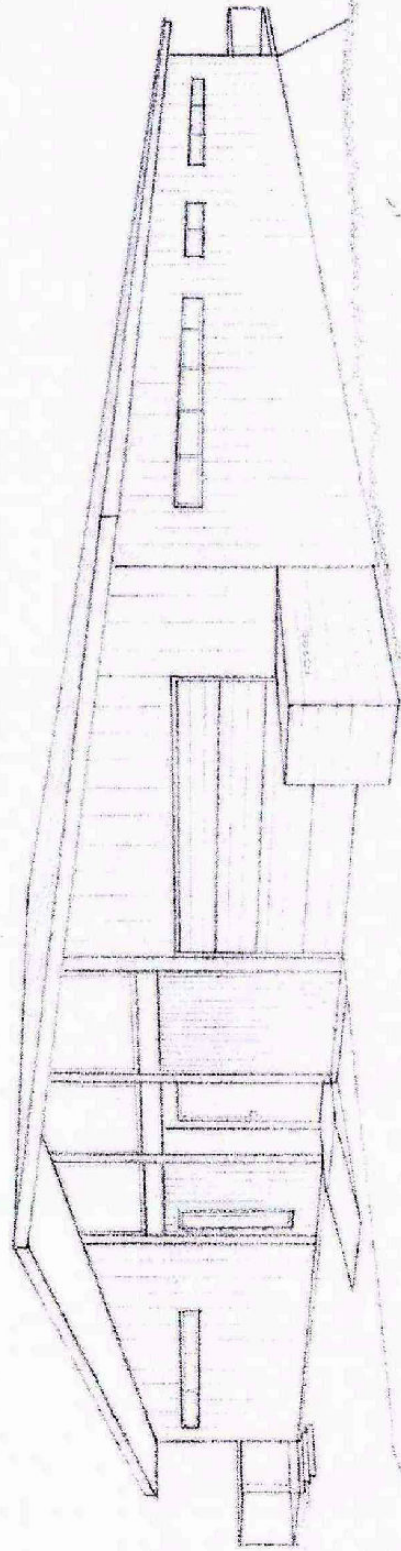
MENDOCINO TOWN PLAN

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NORTHWEST PERSPECTIVE

2



SOUTHEAST PERSPECTIVE

1

CASE: CDP 2017-0048
 OWNER: SHUCK, Gerald & Kimiko
 APN: 119-060-20
 APLCT: Gerald Shuck
 AGENT: Jay Andreis
 ADDRESS: 10900 Palette Drive, Mendocino

NO SCALE

OBLIQUE SKETCH

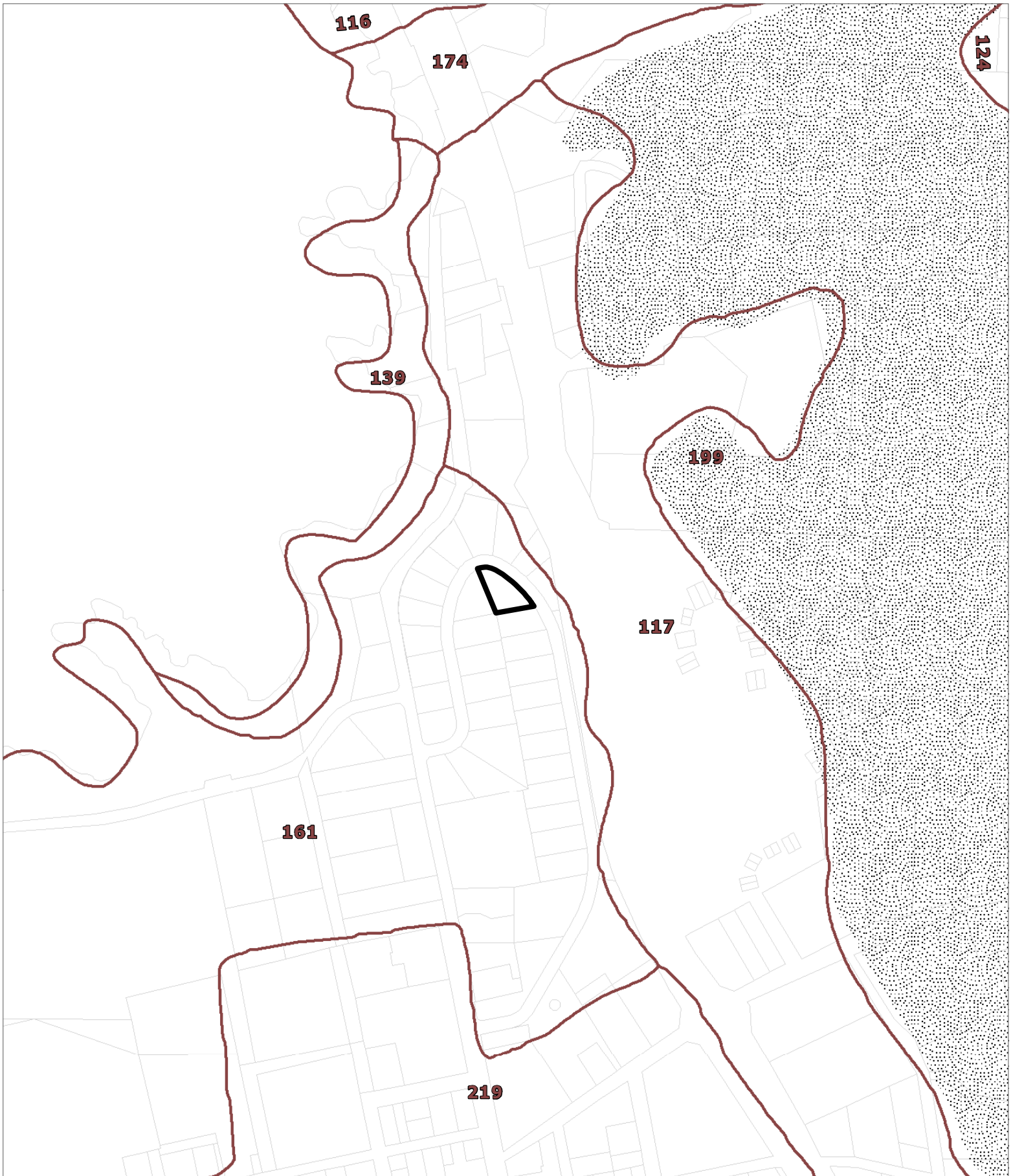
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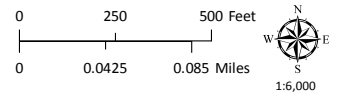
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SITE PLAN



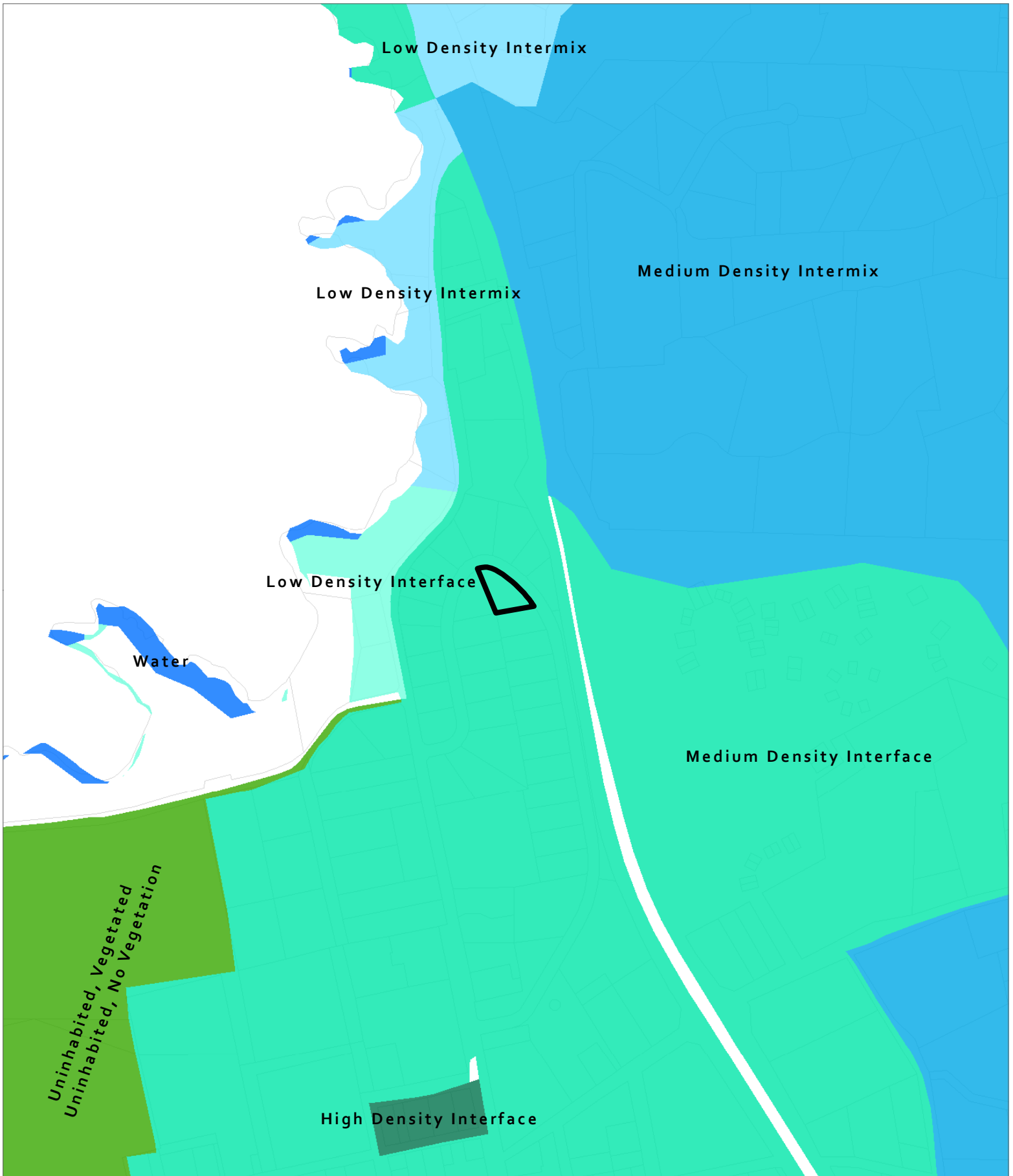
CASE: CDP 2017-0048
OWNER: SHUCK, Gerald & Kimiko
APN: 119-060-20
APLCT: Gerald Shuck
AGENT: Jay Andreis
ADDRESS: 10900 Palette Drive, Mendocino

 Western Soil Classes
 Shinglemill-Gibney Complex

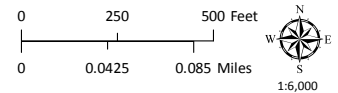


LOCAL SOILS

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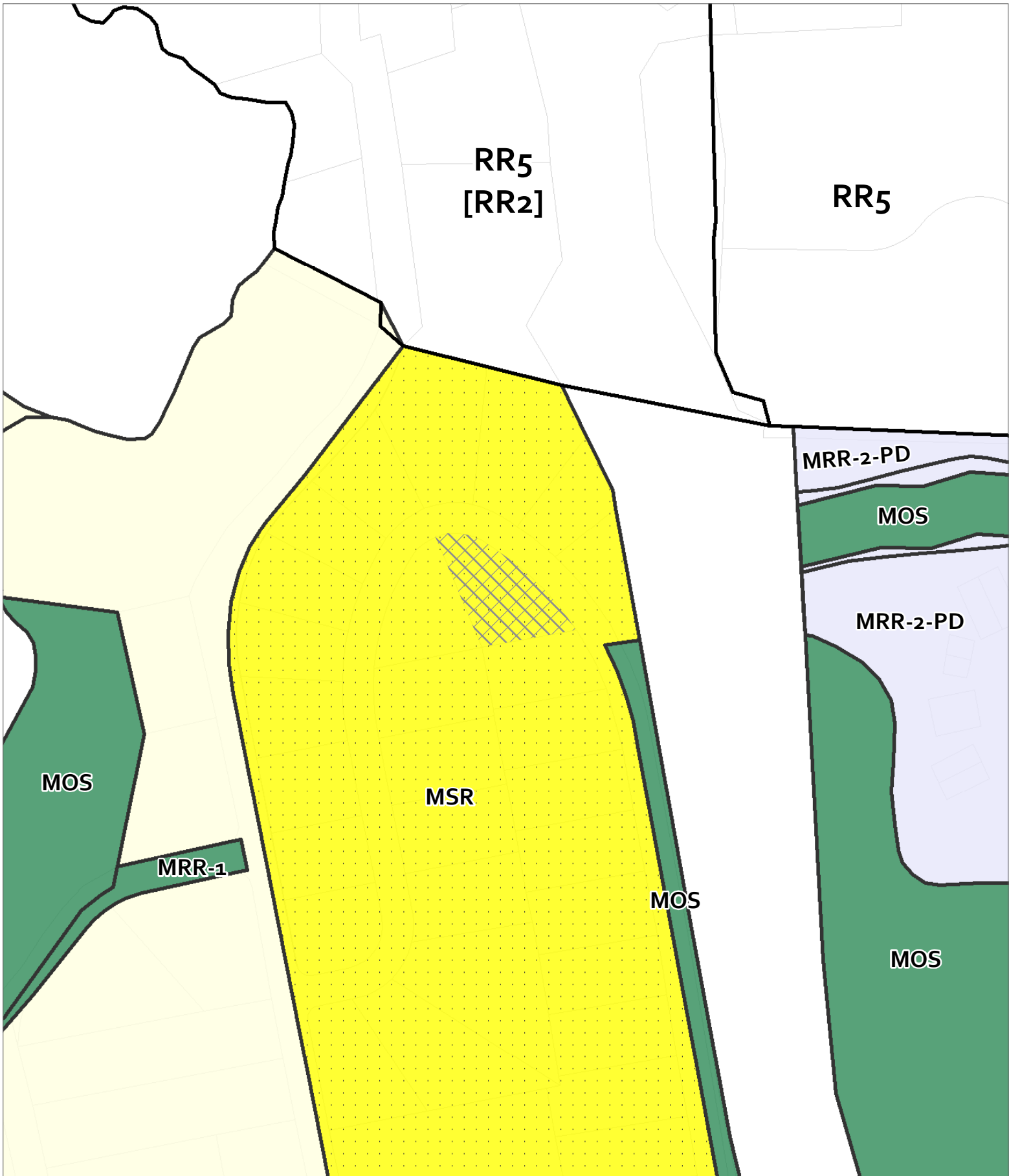


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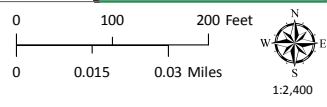
WILDLAND-URBAN INTERFACE ZONES

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 Zoning Districts



ZONING DISPLAY MAP

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