



MENDOCINO HISTORICAL REVIEW BOARD STAFF REPORT

December 4, 2017
MHRB_2016-0032

OWNER/APPLICANT/AGENT: LOREN REX
CALIFORNIA STATE DEPT. OF PARKS AND RECREATION
12301 N. HIGHWAY ONE, BOX 1
MENDOCINO, CA 95460

PROJECT DESCRIPTION: A Mendocino Historical Review Board Permit request to remodel a public restroom located within the Mendocino Headlands State Park, grade, and plant native and historically appropriate landscaping adjacent to the Ford House and public restroom.

STREET ADDRESS: 45035 Main Street (APN: 119-240-01).

PARCEL SIZE: 11.50 acres

HISTORIC STRUCTURES: On Site: Ford House, Category 1
North: Category I Jarvis-Nichols Building
Category IIa Drug Store-Toggery
Category IVa Not Historic
Category I Mendocino Hotel
Category I Dr Milliken's Office
Category IIa 690 Main Street
Category S/IIb Site of Alhambra Hotel
Category IVb Not Historic
Category I Kelley Rental, Kelley Pond
Category I Kelly House
Category I Kelley Water Tower
Category IVa Not Historic
South: Mendocino Headlands State Park
East: Mendocino Headlands State Park
West: Mendocino Headlands State Park

CEQA STATUS: A Class 31 Categorical Exemption from the California Environmental Quality Act for restoration of a historical resource following the Secretary of the Interiors Guidelines for Preservation and Restoration of Historic Resources.

PAST MHRB PERMITS: 87-16 Music Festival; 91-03 sidewalk; 00-51 migration marker; 02-17 demo movie set water tank; 08-14 sidewalk; 08-32 interpretive sign; 2016-03 Carriage House; and 2016-19 Carriage House.

HISTORIC ORDINANCE STANDARDS: The Mendocino Historical Preservation District Ordinance provides standards for the MHRB to consider when reviewing applications. Relative to this application, the following issues are raised and should be addressed:

- | | |
|---|--------------------|
| Building Size, Height, Proportions and Form | Roof Shape |
| Relationship of Building Masses and Open Spaces | Color(s) |
| ✓ Relationship to Surrounding Structures | Sign Size |
| ✓ Materials and Textures | Number of Signs |
| ✓ Architectural Details and Style | Placement/Location |
| Facade Treatment | Lighting |

✓ Proportions of Windows and Doors
Landscaping

Paving/Grading

APPLICABLE SECTIONS OF MHRB GUIDELINES: Reconstructions (Page 9), Demolition (page 10).

VI.3. SITE DEVELOPMENT GUIDELINES reads: "The orientation, setback alignment, space and placement of a building on site will be considered with special consideration given to the retention of natural topography and vegetation. All structural landscape elements and fences will be considered."

STAFF NOTES: At the August 7, 2017 MHRB Meeting, the Review Board approved specific project design details and requested additional information (or project revisions) about exterior lighting/lamps, pavement (material, color, texture), and accessible access routes.

Lighting: In four locations, the applicant proposes downcast, shielded, lights (pendant shades) on the building (See exhibit A). In four locations, would be LED surface mounted lights (See exhibit B). In four locations would be downcast wall light sconces (see exhibit C). And two bollards with downcast lighting adjacent to the pathway.

Pavement: The applicant proposes salt-washed concrete, warm grey. In limited areas, 109 square feet, the material would be stamped (see Attachment #2).

Pathway: The applicant proposes removing existing concrete sidewalk (275 square feet of pavement). The accessible route would be revised. Two lamps adjacent to the path would be low watt LED, downcast bollards (see attachment exhibit D).

REQUIRED FINDINGS: The Review Board shall not approve or conditionally approve any application for proposed work unless it affirmatively makes the following findings:

- (a) The exterior appearance and design of the proposed work is in harmony with the exterior appearance and design of the existing structures within the District and with that of existing subject structure, if any; and
- (b) The appearance of the proposed work will not detract from the appearance of other property within the District; and
- (c) Where the proposed work consists of alteration or demolition of an existing structure, that such work will not unnecessarily damage or destroy a structure of historical, architectural or cultural significance.

STANDARD CONDITIONS:

1. This action shall become final and effective on the 11th day following the decision unless an appeal is filed pursuant to Section 20.760.072 of the Mendocino County Code. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction and or use of the property in reliance on such permit has been completed prior to its expiration.
2. The application along with supplemental exhibits and related material shall be considered elements of this permit, and compliance therewith is mandatory.
3. This permit shall be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division.
4. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:

- a. That such permit was obtained or extended by fraud.
 - b. That one or more of the conditions upon which such permit was granted have been violated.
 - c. A final judgment of a court of competent jurisdiction has declared one (1) or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one (1) or more such conditions.
5. To establish that site-work satisfies the requirements of MHRB Permit 2016-0032 and the Review Board's action, the property owner shall request a Planning and Building Services Final Inspection prior to the expiration of this permit. Prior to this MHRB Permit's expiration (if no Building Permit is obtained) and at the request of the property owner, PBS will furnish, following a site inspection of completed work, a functionally equivalent document demonstrating that the requirements of MHRB Permit 2016-0032 have been satisfied.
 6. Any Building Permit request shall include MHRB Permit #2016-0032 (attached to or printed on the plans submitted).
 7. The Review Board shall approve Lighting and Lamp design prior to Planning and Building Services Final Inspection.
 8. The Review Board shall approve paving material, color, texture, and accessible pathways prior to Planning and Building Services Final Inspection.
-

The Review Board's action and this permit will not be final and effective and work may not commence on the project until after a ten day appeal period has ended. You will be notified if a timely appeal is filed.

Appeal Fee: \$1,616.00 (Check payable to County of Mendocino).

Appeal Period: Appeals must be received within 10 days of Review Board Action.

**COUNTY OF MENDOCINO
DEPT. OF PLANNING & BUILDING
SERVICES**

**120 WEST FIR STREET
FORT BRAGG, CA 95437
Telephone: 707-964-5379
Fax: 707-961-2427**

Case No(s)

MHRB-2016-0032

Date Filed

12/12/2016

Fee \$

600.00

Receipt No.

13439

Received by

JA

Office Use Only

MHRB APPLICATION FORM

Name of Applicant

CA State Parks - Loren Rex

Name of Property Owner(s)

Name of Agent

Mailing Address

12301 N. Hwy 1 Box 1
Mendocino CA 95460

Mailing Address

Mailing Address

Telephone Number

707-937-3118

Telephone Number

Telephone Number

Assessor's Parcel Number(s)

11924001

Parcel Size

☐ Square Feet

11.5

☒ Acres

Street Address of Project

45035 MAIN ST MENDOCINO, CA 95460

TYPE OF DEVELOPMENT

(Check appropriate boxes)

- ☐ Demolition. Please indicate the type and extent of demolition. (see next page)
- ☐ Construction of a structure.
- ☒ Addition to a structure.
- ☒ Alteration of exterior of structure.
- ☐ Construction, installation, relocation or alteration of outdoor advertising sign.
- ☒ Outdoor lighting.
- ☒ Walkways, driveways, parking areas, and grading.
- ☐ Exterior painting of a structure.
- ☐ Other.

PROJECT DESCRIPTION QUESTIONNAIRE

The purpose of this questionnaire is to relate information to the Planning & Building Services Department and the MHRB. Please answer all questions. For those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A". **NOTE: The more complete and clear the submitted information, the more quickly your application can be processed.**

1. Describe your project in detail.

- **For demolition**, identify the items to be demolished, the percentage of the structure(s) to be demolished, and explain reason for demolition.
- **For new signs**, provide scaled drawings, describe wording, dimensions, materials, colors, and mounting detail. Indicate specific location on site plan.
- **For new copy on existing signs**, provide wording, graphics, font style, colors, and photographs of existing sign(s).
- **For exterior painting**, describe existing and proposed colors. Provide paint chips for proposed colors.
- **For exterior lighting**, include description/detail of fixtures and indicate locations on the site plan.
- **For new construction**, additions or architectural alterations, include plans, elevations, dimensions, height(s), materials, colors, finishes, trim and window details, walkways and paving locations.
- **For walkways, driveways, paving and grading**, provide dimensions, location and materials.

CA Department of Parks and Recreation(DPR) in partnership with the Mendocino Area parks Association(MAPA) plans to remodel the Ford House rest room to bring it up to ADA compliance and redesign for functionality and maintainability. The project also a planting plan for historically appropriate plants and a grading plan to protect the historic structure.

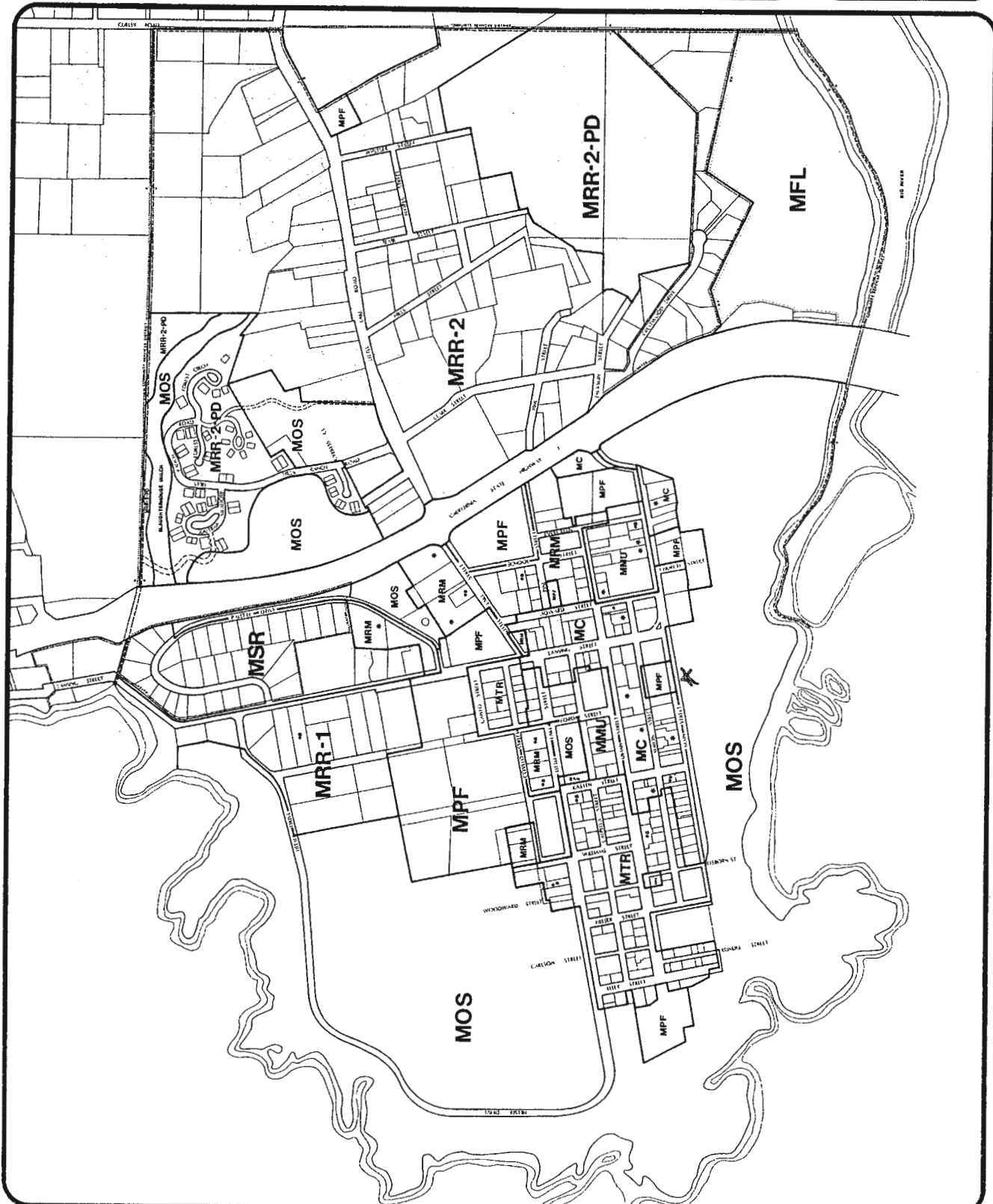
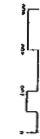
2. If the project includes new construction, please provide the following information:

- What is the total lot area presently covered by building(s), decks, walkways, water tanks, and other structures? 5000 sq. ft.
- What is the total floor area (internal) of all structures on the property? 5800 sq. ft.
- If located within the Mendocino Mixed Use (MMU) zoning district, What is the total floor area on the parcel that is devoted to residential use? _____ sq. ft.

If you need more room to answer any question, please attach additional sheets

ADOPTED BY THE BOARD OF SUPERVISORS
January 23, 1995

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January 23, 1995



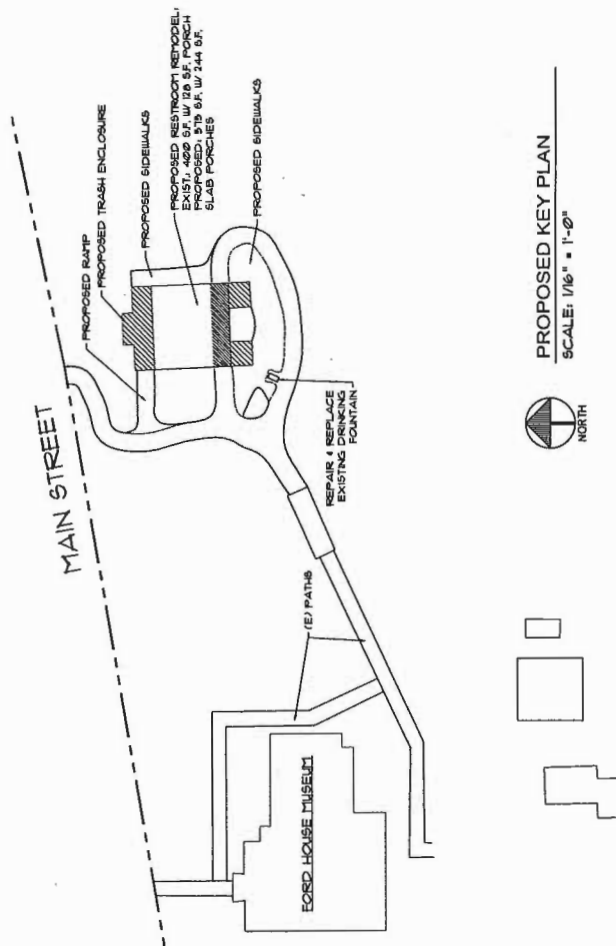
| ABBREVIATIONS: | | ABOVE FINISHED FLOOR | |
|----------------|---------------------|----------------------|--|
| • | AT | | |
| BK. | BEAM | | |
| BLK. | BLOCKING | | |
| B.M.C. | BABY CHANGING TABLE | | |
| C.T. | CURTAIN | | |
| C.C. | CABINET | | |
| C.J. | CEILING JOISTS | | |
| CONC. | CONCRETE | | |
| COMP. | COMPOSITION | | |
| C.S. | CHILD SEAT | | |
| C.T. | COLLAR TIES | | |
| DBL. | DOUBLE | | |
| D.P. | DONGLAS FIR | | |
| D.C. | DRAIN | | |
| EACH | EACH | | |
| ELEV. | ELEVATION | | |
| (E), EXIST. | EXISTING | | |
| EQVY. | EQUIVALENT | | |
| F.D. | FLOOR DRAIN | | |
| F.F. | FINISHED FLOOR | | |
| F.N. SLAB | FINISHED SLAB | | |
| F.O.S.T. | FACE OF STUD | | |
| F.O.S.L. | FACE OF SLAB | | |
| F.O.W. | FACE OF WALL | | |
| F.DN. | EQUAL | | |
| FT. | FOOT | | |
| FTG. | FOOTING | | |
| GALV. | GALVANIZED | | |
| G.D. | GARBAGE DISPOSER | | |
| G.P. | GYPSON BOARD | | |
| HT. | HEIGHT | | |
| H.D. | HAND DRYER | | |
| INSUL. | INSULATION | | |
| LAV. | LAVATORY | | |
| M.C. | MINIMUM | | |
| MFR. | MANUFACTURER | | |
| MTL. | METAL | | |
| MTL. | NOT TO SCALE | | |
| (N) | NEW | | |
| O/C | ON CENTER | | |
| OPR. | OPERATED | | |
| P.C. | POST CAP | | |
| P.B. | POST BASE | | |
| PLYWOOD | PLYWOOD | | |
| P.T. | PRESSURE TREATED | | |
| R. | RECYCLE | | |
| REFRIG. | REFRIGERATOR | | |
| ROOF. | REDWOOD | | |
| R.O. | ROOF / REINFORCING | | |
| R.O. | ROUGH OPENING | | |
| SHT. | SHEET | | |
| S. | SNK | | |
| S.D. | SOAP DISPENSER | | |
| S.F. | SQUARE FOOT | | |
| S.S. | STAINLESS STEEL | | |
| T.B. | TRASH | | |
| T.B. | TO BOTTOM | | |
| T.B.D. | TO BE DETERMINED | | |
| T.O.G. | TONGUE & GROOVE | | |
| T.O.S.H. | TOP OF SLAB | | |
| T.O.S.L. | TOP OF SHEATHING | | |
| T.O.R. | TOP OF ROOF | | |
| T.O.W. | TOP OF WALL | | |
| TYP. | TYPICAL | | |
| THK. | THICKNESS | | |
| U. | UNUSUAL | | |
| U.S. | UNITED STATES | | |
| V.F. | VIBRY IN FIELD | | |
| W.M. | WOVEN WIRE MESH | | |
| W.P. | WATERPROOF | | |
| W.C. | W.C. TOILET | | |
| W/C. | WITH | | |

APPLICABLE CODES

TITLE 19. CCR. PUBLIC SAFETY: 601 REGULATIONS
2013 CA ADMINISTRATIVE CODE TITLE 24, PT. 1
2013 CA BUILDING CODE (CBC) TITLE 24, PT. 2
2013 CA ELECTRICAL CODE (CEC) TITLE 24, PT. 3
2013 CA MECHANICAL CODE (CMC) TITLE 24, PT. 4
2013 CA PLUMBING CODE (CPC) TITLE 24, PT. 5
2013 CA ENERGY CODE (CEC) TITLE 24, PT. 6
2013 CA FIRE CODE (FC) TITLE 24, PT. 7
2013 CA GREEN BUILDING STANDARDS TITLE 24, PT. 11
2013 CA REFERENCED STANDARDS TITLE 24, PT. 12

CA FIRE MARSHALL FILE # 0123-11-0001

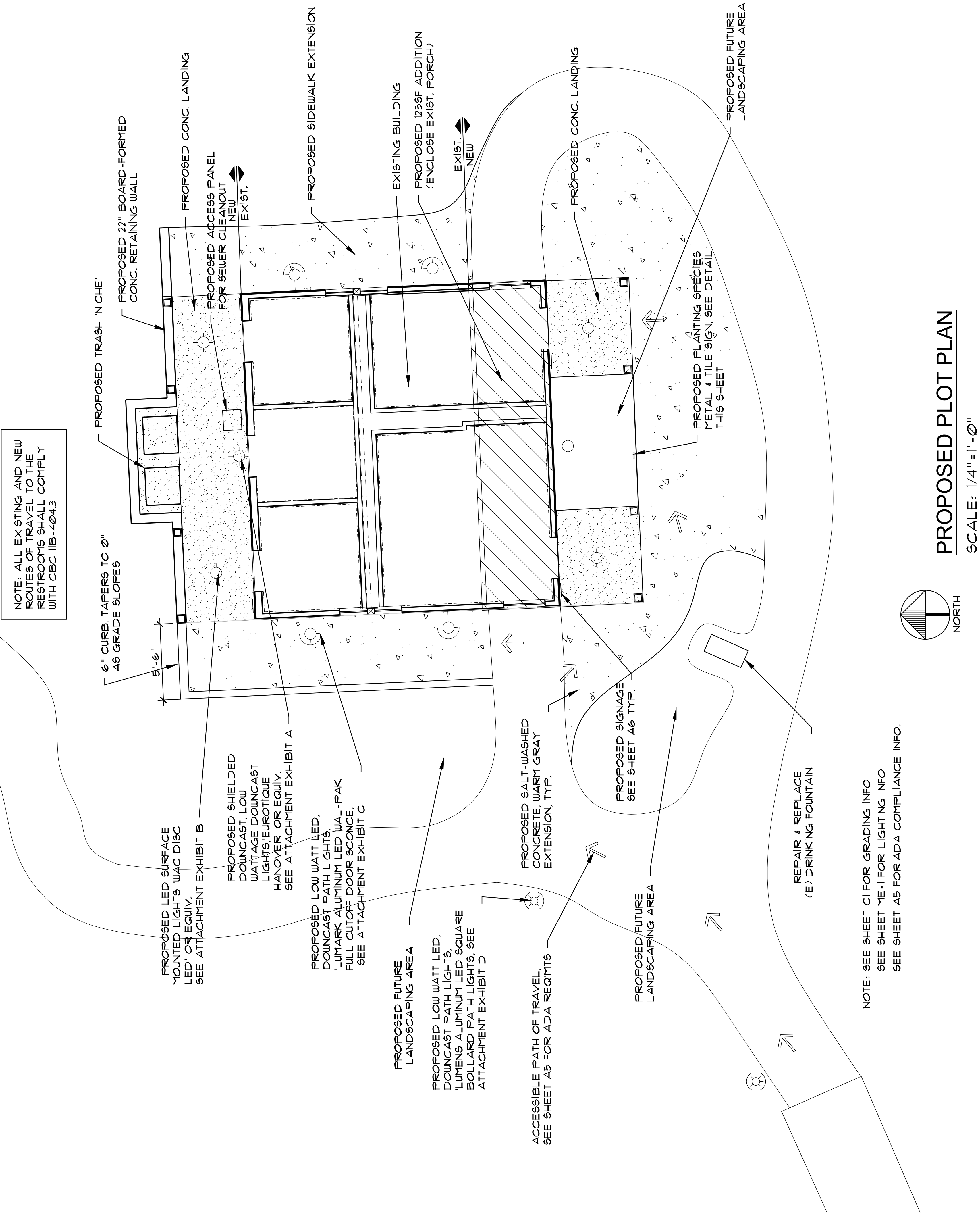
| | |
|--------------------|---|
| INDEX OF DRAWINGS: | |
| TT | VEHICLE MAP, KEY PLAN & PROJECT INFORMATION |
| A0 | THE PLAN |
| A1 | 1ST FLOOR PLAN & ELEVATIONS |
| A2 | 2ND FLOOR PLAN & ELEVATIONS |
| A3 | REFLECTED CLG. & ROOF PLANS |
| A4 | WINDOW & DOOR SCHEDULES & DETAILS |
| A5 | EXTERIOR ELEVATIONS |
| A6 | EXTERIOR FINISHES |
| B1 | MECHANICAL REQUIREMENTS |
| B2 | BUILDING SECTIONS |
| B3 | ARCHITECTURAL DETAILS |
| B4 | MECHANICAL PLAN & DETAILS |
| B5 | PLUMBING PLAN & DETAILS |
| B6 | FOUNDATION PLAN & DETAILS |
| B7 | ROOF FRAMING PLANS & DETAILS |
| B8 | STRUCTURAL DETAILS |
| B9 | SPECIFICATIONS |
| B10 | SPECIFICATIONS |
| C1 | GRADING PLAN |

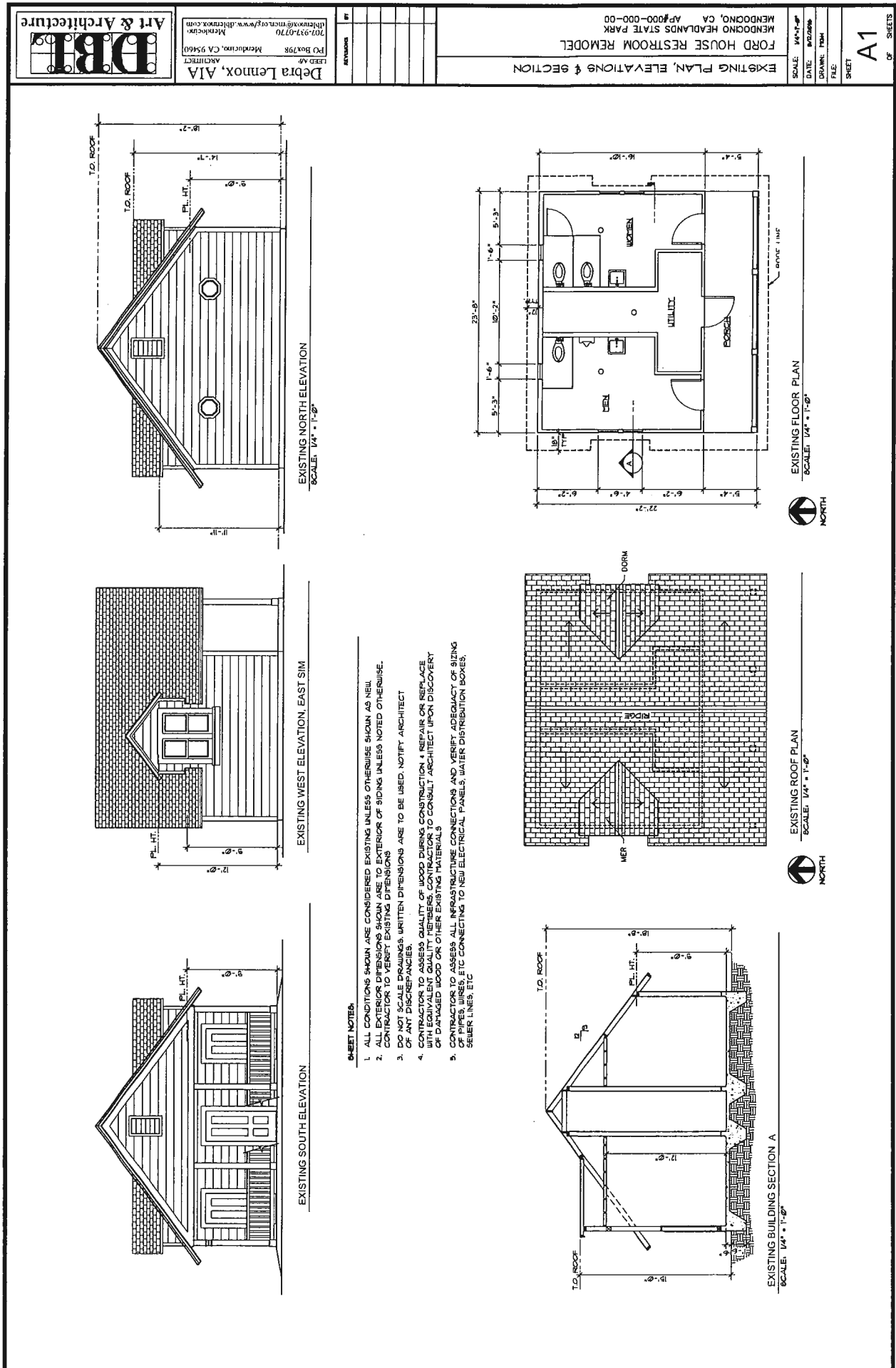


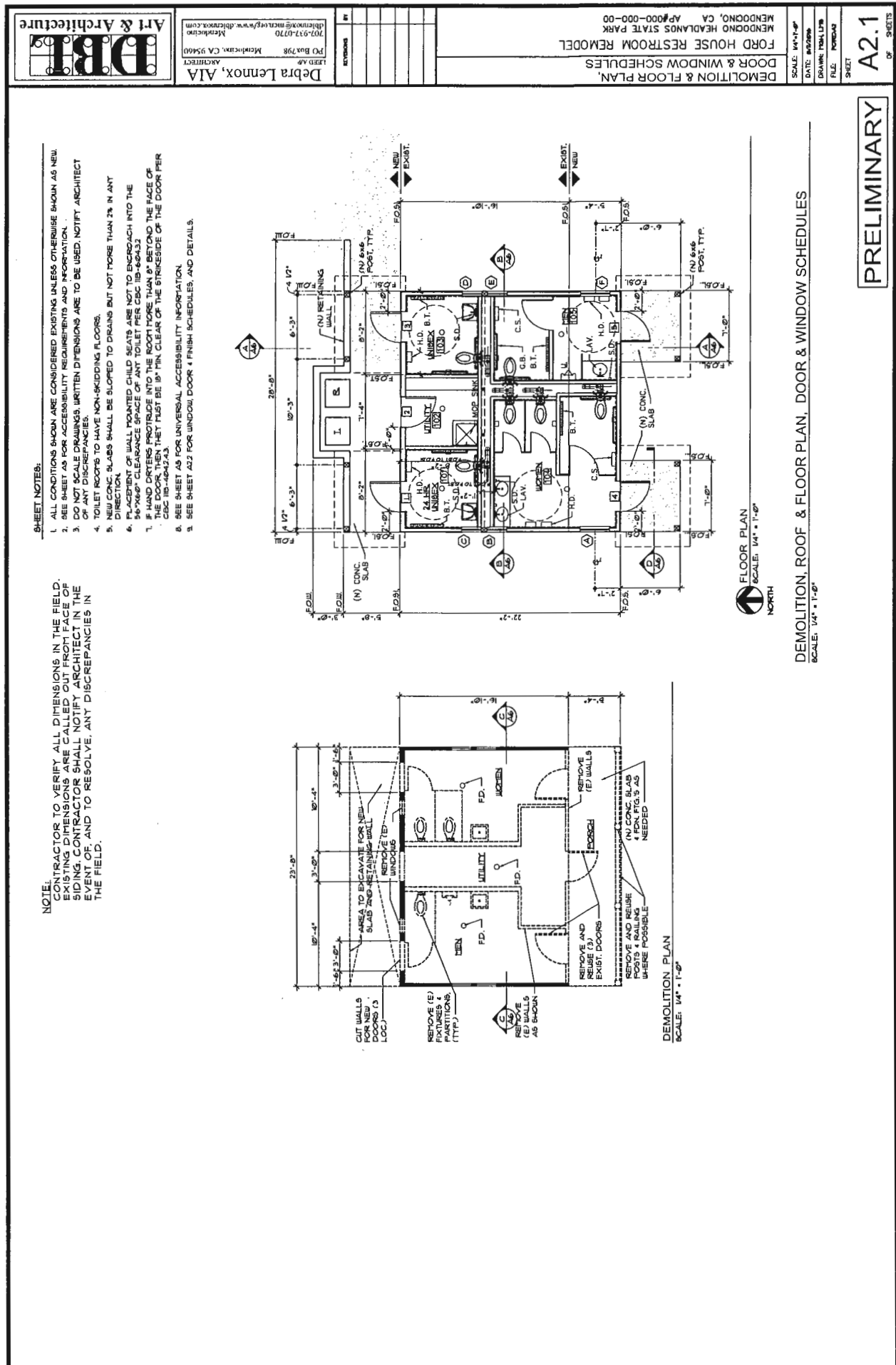
PROPOSED KEY PLAN

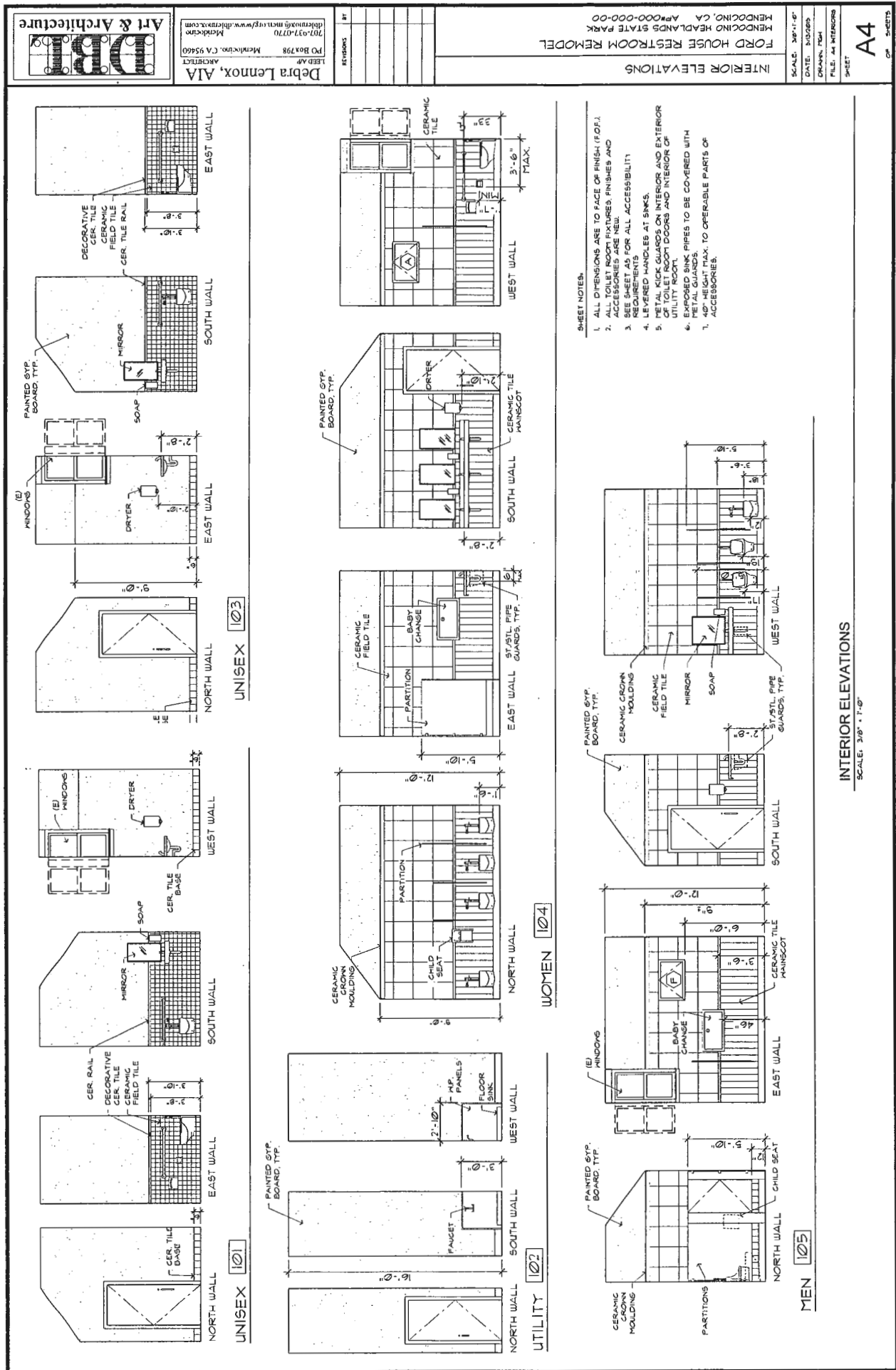


PRELIMINARY









Page 11

1 NEW RETAINING WALL
SCALE: 1" = 1'-0"

2 NEW SLAB & EXIST.
SCALE: 1" = 1'-0"

3 NEW SLAB & PLUMBING WALL
SCALE: 1" = 1'-0"

4 NEW SLAB & EXIST. / CURB REMOVED
SCALE: 1" = 1'-0"

5 NEW WALL & FOOTING & PORCH
SCALE: 1" = 1'-0"

6 POST BASE & NEW SLAB
SCALE: 1" = 1'-0"

7 NEW PLUMBING WALL ENCLOSURE
SCALE: 1" = 1'-0"

8 NEW WALL & (E) ROOF
SCALE: 1" = 1'-0"

9 PORCH SOFFIT & GABLE END
SCALE: 1" = 1'-0"

10 PORCH EAVE
SCALE: 1" = 1'-0"

11 PORCH EAVE
SCALE: 1" = 1'-0"

12 WOOD COLUMN
SCALE: 1" = 1'-0"

13 NEW PLUMBING WALL
SCALE: 1" = 1'-0"

14 NEW WALL & WINDOW MULLION
SCALE: 1" = 1'-0"

THE FORD HOUSE LANDSCAPE IMPROVEMENTS

| No. | Date | Description |
|-----|--------|--------------------|
| 1 | 1.1.15 | Scale 1/8" = 1' 0" |
| 2 | 1.1.15 | Drawn: CH |
| 3 | 1.1.15 | Checked: CH |
| 4 | 1.1.15 | Sheet: 1 |

PLANTING PLAN

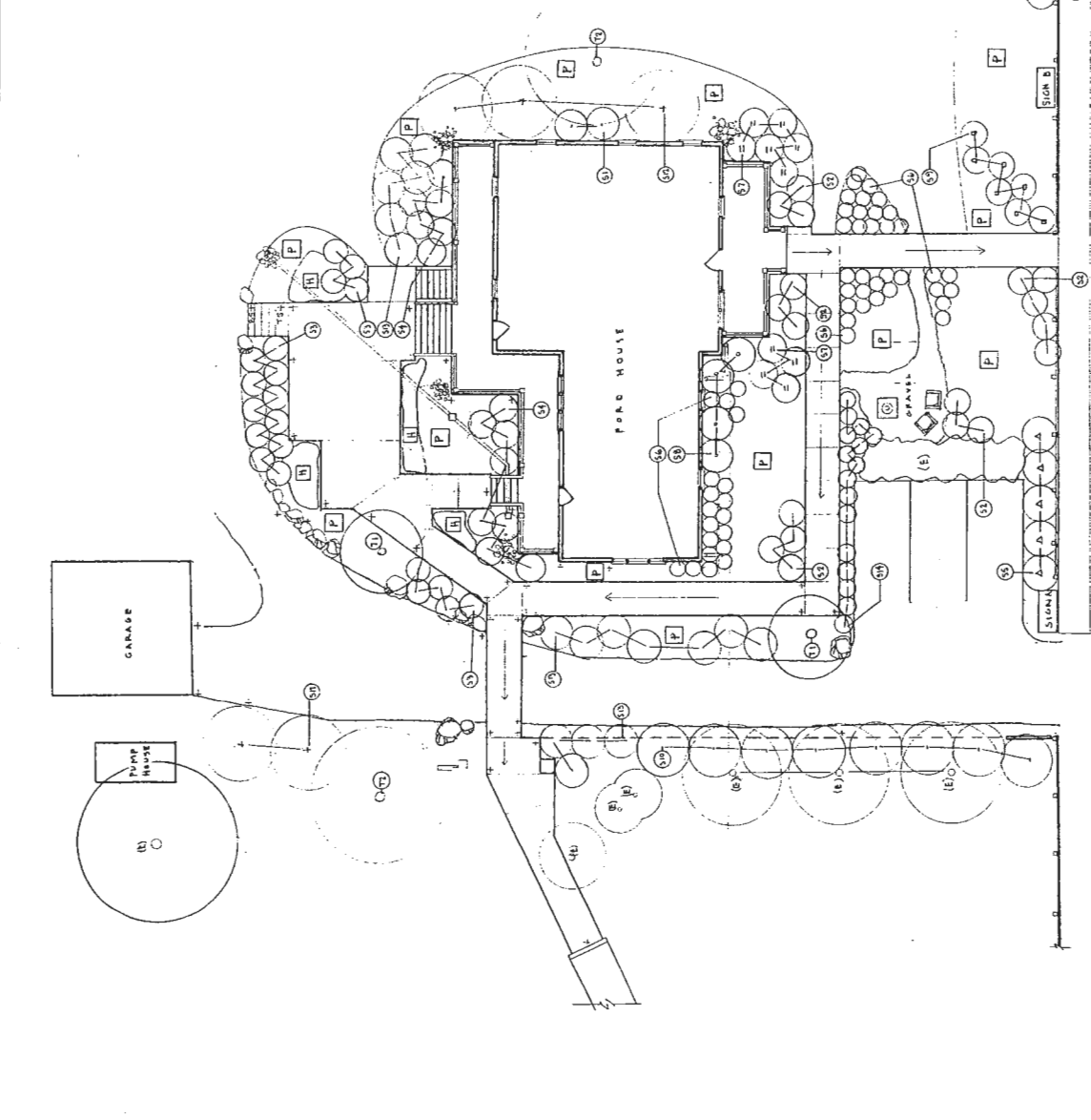
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|---------|--------------|
| Date | 1.1.15 |
| Scale | 1/8" = 1' 0" |
| Drawn | CH |
| Checked | CH |
| Sheet | 1 |

L2.0

- PLANTING NOTES**
- THIS PLANTING DESIGN LAYOUT IS A REPRESENTATIVE PLANTING SCHEME FOR THE FORD HOUSE HISTORIC PHOTOGRAPHS HAVE BEEN RESEARCHED. AS A RESULT, PLANT TYPES AND A NUMBER OF SPECIMENS SHOWN ARE INCLUDED IN THE LAYOUT. THE FORD HOUSE HAS BEEN RESEARCHED OVER ITS 160-YEAR HISTORY INCLUDING THE FORMER REAR BEING REPAIRED AS THE FRONT OF THE PROPERTY. THIS PLAN INCLUDES PLANTING SPECIES AND PLANT TYPES AS SEEN IN PHOTOGRAPHS. THE PLANTING TYPES AND PLANT TYPES ARE INCLUDED TO INTERPRET THE FORD HOUSE HISTORIC PHOTOGRAPHS. IN THIS CONTEXT, THE INTENT OF THIS PLAN IS TO PROVIDE AN INVITING GARDEN FOR THE HISTORIC HOUSE AND ITS VISITORS.
 - WHERE NEW GRADING CHANGES TO THE ELEVATION OF EXISTING PLANTING AREAS OR WHERE PLANTING IS MISSING OR IN POOR CONDITION, INVOLVED PLANTING LAYOUT IS SHOWN. SOME EXISTING SPECIES HAVE BEEN RETAINED INCLUDING THE REDUCED SLOPING THE PLANTING. PLANTING TYPES AND PLANT TYPES ARE INCLUDED TO INTERPRET THE FORD HOUSE HISTORIC PHOTOGRAPHS. IN THIS CONTEXT, THE INTENT OF THIS PLAN IS TO PROVIDE AN INVITING GARDEN FOR THE HISTORIC HOUSE AND ITS VISITORS.
 - PERMANENT BEDS HAVE BEEN DENIED WHERE THE SUGGESTED PERMANENT SPECIES TREE PLANT LIST MAY BE PLANTED BY THE GARDEN VOLUNTEERS.
 - THE FLAGPOLE AREA HAS BEEN SIMPLIFIED: SHOWN CONSISTING OF GRAVEL PAVING, THE EXISTING FLAGPOLE AND A NEW SEAT. THE "FORD HOUSE" SIGN IS RECOMMENDED TO BE RELOCATED IN ONE OF TWO ALTERNATIVE POSITIONS SHOWN, WHEN RELOCATING THE SIGN, THE SIGN SHOULD BE LOCATED ON THE CONCRETE FOOTING.
 - A WATER TOWER WAS LOCATED ON THE PROPERTY NEAR THE PUMP HOUSE AS SEEN IN HISTORIC PHOTOGRAPHS. IDENTIFY ITS LOCATION AND ADD A FEATURE TO MARK ITS POSITION.
 - THE SITE IS TO BE GRADED TO PLUS OR MINUS 0.10 FT PRIOR TO PLANTING. REMOVE STUMPS OF TREES TO 12" BELOW FINISHED GRADE.
 - ALL PLANTS AND LAYOUT TO BE APPROVED BY THE REPRESENTATIVE OF CA STATE PARKS PRIOR TO LOCATION OF PLANTING HOLES.
 - NOTIFY REPRESENTATIVE OF CA STATE PARKS 30 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION MEETINGS.
 - CLAMP AND GIVE ALL AREAS TO RECEIVE NEW PLANTING AND PREPARE SOIL. SLOPE SOIL AWAY FROM BUILDING. SEE GRADING PLAN.
 - PROVIDE WELL-COMPOSED COMPOST (ECO-GROW COMPOST AVAILABLE FROM AMERICAN SOIL PRODUCTS) SUPER-HUMANUS COMPOST AVAILABLE FROM WYOMING COUNTY ON EQUIPMENT.
 - PROVIDE WELL-COMPOSED COMPOST (ECO-GROW COMPOST AVAILABLE FROM AMERICAN SOIL PRODUCTS) SUPER-HUMANUS COMPOST AVAILABLE FROM WYOMING COUNTY ON EQUIPMENT.
 - CONTINUE EXCAVATE EACH PLANT PIT TO 12" DEEPER THAN THE POT SIZE OF THE PLANT TO BE PLANTED. BRING IT TO OPTIMUM MOISTURE PLANT PIT. WHEN EXCAVATING THE PLANT PIT, BREAK UP NATIVE SOIL. ADD AMENDMENT IN THE AMOUNT OF 2" DEEP ACROSS THE EXCAVATED PIT. AND MIX WITH NATIVE SOIL. CREATE A LEVEL AREA ON UNDISTURBED BOTTOM OF HOLE FOR THE PLANT. SET PLANT 1" DEEPER THAN THE POT SIZE. WATER PLANT WITH WATERED SITE SOIL. TAMPING SOIL IN 2" LIFTS. THOROUGHLY WATER PLANTS WHEN COMPLETE.
 - SPACE GROUND COVER TRIANGULARLY IN PLANTING AREAS. GROUND COVER NET INDICATIONS ARE SHOWN IN LEGEND. HOLD GROUND COVER BACK 18 IN. FROM THE EDGE OF NEW SHOULDER PLANTS. KEEPING MULCH 4" TO 6" FROM STEAM TRUNK OF PLANT.
 - SPREAD 3" MULCH OVER ENTIRE PLANTING AREA, KEEPING MULCH 4" TO 6" FROM STEAM TRUNK OF PLANT.
 - REPAIR EXISTING PLANTING AND IRRIGATION DAMAGED BY CONSTRUCTION.

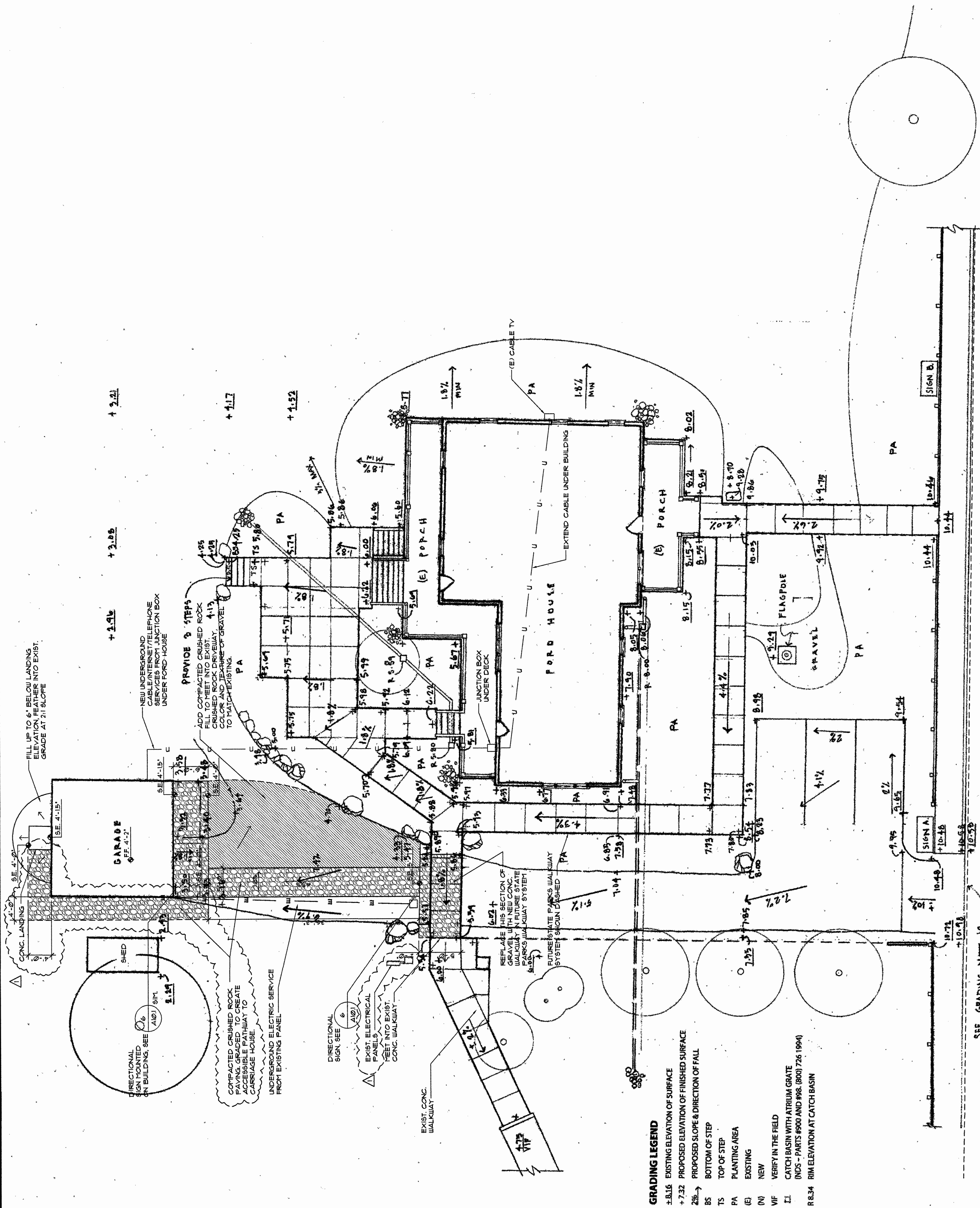
PLANT LIST

| PLANT | COMMON NAME | SIZE | COMMENTS |
|-------|-----------------------|--------|-----------------------------|
| 1 | Artemisia tridentata | 12 gal | See in Historic Photographs |
| 2 | Artemisia tridentata | 12 gal | See in Historic Photographs |
| 3 | Baccharis salicifolia | 1 gal | |
| 4 | Baccharis salicifolia | 1 gal | |
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| 83 | Baccharis salicifolia | 1 gal | |
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| 88 | Baccharis salicifolia | 1 gal | |
| 89 | Baccharis salicifolia | 1 gal | |
| 90 | Baccharis salicifolia | 1 gal | |
| 91 | Baccharis salicifolia | 1 gal | |
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| 93 | Baccharis salicifolia | 1 gal | |
| 94 | Baccharis salicifolia | 1 gal | |
| 95 | Baccharis salicifolia | 1 gal | |
| 96 | Baccharis salicifolia | 1 gal | |
| 97 | Baccharis salicifolia | 1 gal | |
| 98 | Baccharis salicifolia | 1 gal | |
| 99 | Baccharis salicifolia | 1 gal | |
| 100 | Baccharis salicifolia | 1 gal | |



PERENNIALS AND TREES

| | | |
|-----|-----------------------|--------|
| 1 | Artemisia tridentata | 12 gal |
| 2 | Artemisia tridentata | 12 gal |
| 3 | Baccharis salicifolia | 1 gal |
| 4 | Baccharis salicifolia | 1 gal |
| 5 | Baccharis salicifolia | 1 gal |
| 6 | Baccharis salicifolia | 1 gal |
| 7 | Baccharis salicifolia | 1 gal |
| 8 | Baccharis salicifolia | 1 gal |
| 9 | Baccharis salicifolia | 1 gal |
| 10 | Baccharis salicifolia | 1 gal |
| 11 | Baccharis salicifolia | 1 gal |
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| 13 | Baccharis salicifolia | 1 gal |
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| 17 | Baccharis salicifolia | 1 gal |
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| 39 | Baccharis salicifolia | 1 gal |
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| 100 | Baccharis salicifolia | 1 gal |



SEE GRADING NOTE 12

GRADING PLAN

MAIN STREET

THE HANOVER LED SERIES provides an elegant familiar form in both pendant and post top mounting configurations to adopt to virtually any outdoor space.

EAE4/I*
Arm Part Number

EA-9*
Specification sheet, page 9
located behind Arm tab.

EHI6RT GCF*
Luminaire Part Number

EPAX 18 S4*
Post Part Number

EP-1*
Specification sheet, page 1
located behind Post tab.

*For ordering information and complete product numbers, see corresponding specification sheet.

Hanover LED Luminaire Styles

Flat Glass Lens



EHL22ST GCF

Smooth Ballast Housing



EHL16ST GCF



EHL22ST GCF

Fluted Ballast Housing



EHL16ST GCF



ETHL22ST GCF

Flat Glass Lens GCF
Smooth Ballast Housing



ETHL16ST
GCF



ETHL22FT GCF

Fluted Ballast Housing



ETHL16FT
GCF

Disc

LED Ceiling and Wall

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Multiple mid-powered LEDs illuminate the acrylic diffuser uniformly without socket shadows which are common in conventional flush mounts.

FEATURES

- Install over a junction box or retrofit over a 5" or 6" recessed can
- Energy Star® rated
- Wet Location Listed
- CEC Title 24 Compliant
- CSA listed
- ADA compliant
- Wall or Ceiling Mount
- Opaque acrylic diffuser
- Multiple LED array for uniform illumination
- 120VAC - no driver needed
- Smooth and continuous ELV dimming
- Rated Life: up to 50,000 hours

SPECIFICATIONS

Construction: Steel with white acrylic diffuser


Input: 120VAC

ELV Dimming: 100% - 10% Electronic Low Voltage

Harmonic Distortion (THD): 16% for Input Current at 120VAC

Operating Temperature Range: -40°C to 85°C

ORDERING NUMBER

| | Watt | Color Temp | CRI | LED Lumens | Delivered Lumens | Finish |
|---|-------------------|------------------|-----|------------|------------------|--------------------------|
|  | FM-306 15W | 930 3000K | 90 | 1110 | 865 | BN Brushed nickel |
| | | 940 4000K | 90 | 1165 | 905 | BZ Bronze |
| | | | | | | WT White |

FM - 306 - 940 -

Example: **FM-306-940-WT**

wacighting.com

Phone (800) 526.2588

Fax (800) 526.2585

Headquarters/Eastern Distribution Center

44 Harbor Park Drive

Port Washington, NY 11050

Central Distribution Center

1600 Distribution Ct

Lithia Springs, GA 30122

Western Distribution Center

1750 Archibald Avenue

Ontario, CA 91760

August 7, 2017

MHRB_2016-0032 Ford House Bathroom

Page 17

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. OCT 2015



ABUNDANT SELECTION

The Wal-Pak Series provides a choice of three [3] hinged, removable doors including IESNA full cutoff, Solite™ flat glass lens and refractive, tempered borosilicate glass along with six [6] unique lamp sources including energy efficient LED, pulse start metal halide, compact fluorescent, ceramic metal halide, standard metal halide and high pressure sodium.



FULL CUTOFF DOOR
[FC]



FLAT SOLITE® GLASS DOOR
[FL]



**BOROSILICATE GLASS/
POLYCARBONATE REFRACTOR DOOR**
[GL/PL]



CALL US
877.445.4486
 Mon-Fri 9am-6pm PT
 Sat 7am-5pm PT

Aluminum LED Square Bollard Path Light

By Focus Industries

\$129.60 - \$184.68

Usually ships within 3 to 5 business days.

FREE SHIPPING on orders over \$75.

FREE VINTAGE STRING LIGHT KIT: Use code **STRING** at checkout to get a FREE [Vintage String Light Kit](#) by Bulbrite (a \$100 value) with qualifying \$350 purchase. One per customer, while supplies last. Limited time only.

Finish:



Antique Verde Black Texture Bronze Texture Camel Chrome Powder Hunter Texture

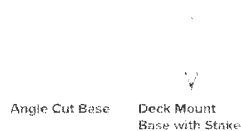


Rubbed Verde Rust Stucco Weathered Brown Weathered Iron White Texture

Shown in bronze, just as listed



Option:



Angle Cut Base Deck Mount Base with Stake

Color Temperature:

3000 5200

3000 5200

Details

The Aluminum LED Square Bollard Path Light by Focus Industries has a charming, rectangular body that houses the latest in energy-efficient, flat panel LED technology. From its 9" ABS stake, the fixture mounts easily into the ground and, thus, has endless placement possibilities on any earth surface. When on, its LED light source emanates from openings at the upper portion of its body, casting a perimeter of light on the surrounding area. Connects to a 12v landscaping electrical system. Transformer is necessary but not included.

Focus Industries dedicates itself to manufacturing competitive landscape lighting products with the



SEE SCALE DRAWING

FEEDBACK



SITELINE®

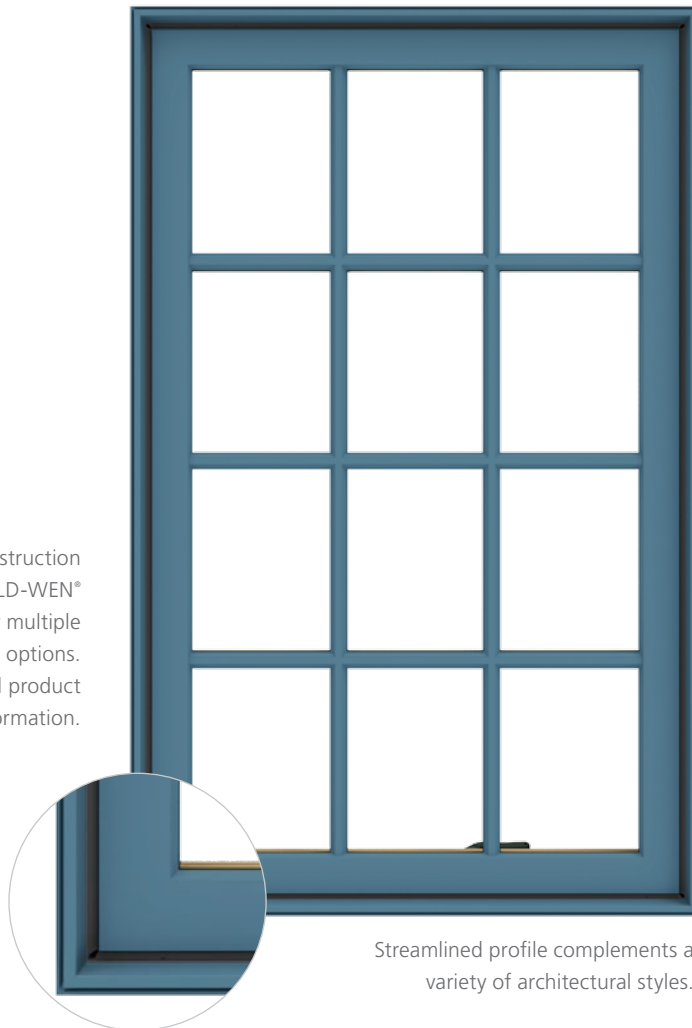
WOOD & CLAD-WOOD
WINDOWS & PATIO DOORS

JELD-WEN
WINDOWS & DOORS

CASEMENT WINDOWS

This clean, modern design is a simple and beautiful way to accent different rooms in your home in addition to maximizing ventilation. This type of window can be hinged on either the left or right so that the sash opens outward in a swinging motion. The streamlined design of the profile detail complements historic, traditional, Craftsman and contemporary architecture.

A great choice for new construction or replacement, JELD-WEN® casement windows offer multiple sizes, colors and glass options. See dealer for additional product details and ordering information.



Streamlined profile complements a variety of architectural styles.

AWNING WINDOWS

A versatile option for many architectural styles, the awning window provides an intriguing look alone or when grouped with other window types. It is hinged at the top and opens out from the bottom in an outward swing for a unique light and ventilation source.



Ease of operation and greater energy efficiency with standard LoE⁺-366[®] insulated glass make JELD-WEN[®] awning windows a great addition to any room. See dealer for additional product details and ordering information.

PUSH-OUT CASEMENT AND AWNING WINDOWS

Simplicity is at the core of these stylish window options. They open like our other casement windows (hinged at the side) and awning windows (hinged at the top) yet they do so without a hardware crank. Just unlatch the lock to open for ventilation.

SWINGING SCREEN

Historically detailed swinging screen matches wood and hardware finishes

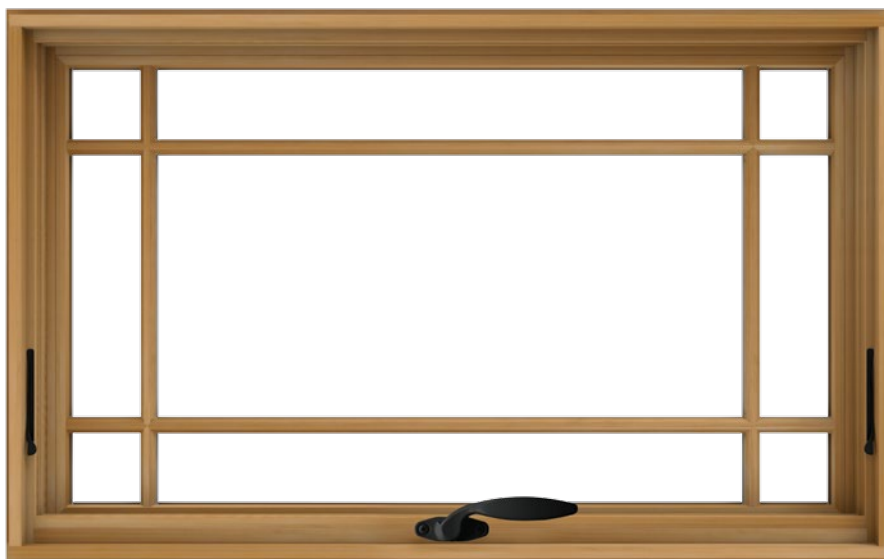
PUSH-OUT HANDLE

Simple and secure, this handle is reminiscent of old world charm but with the added benefits of modern security



HIDDEN MAGNETIC CLOSURES

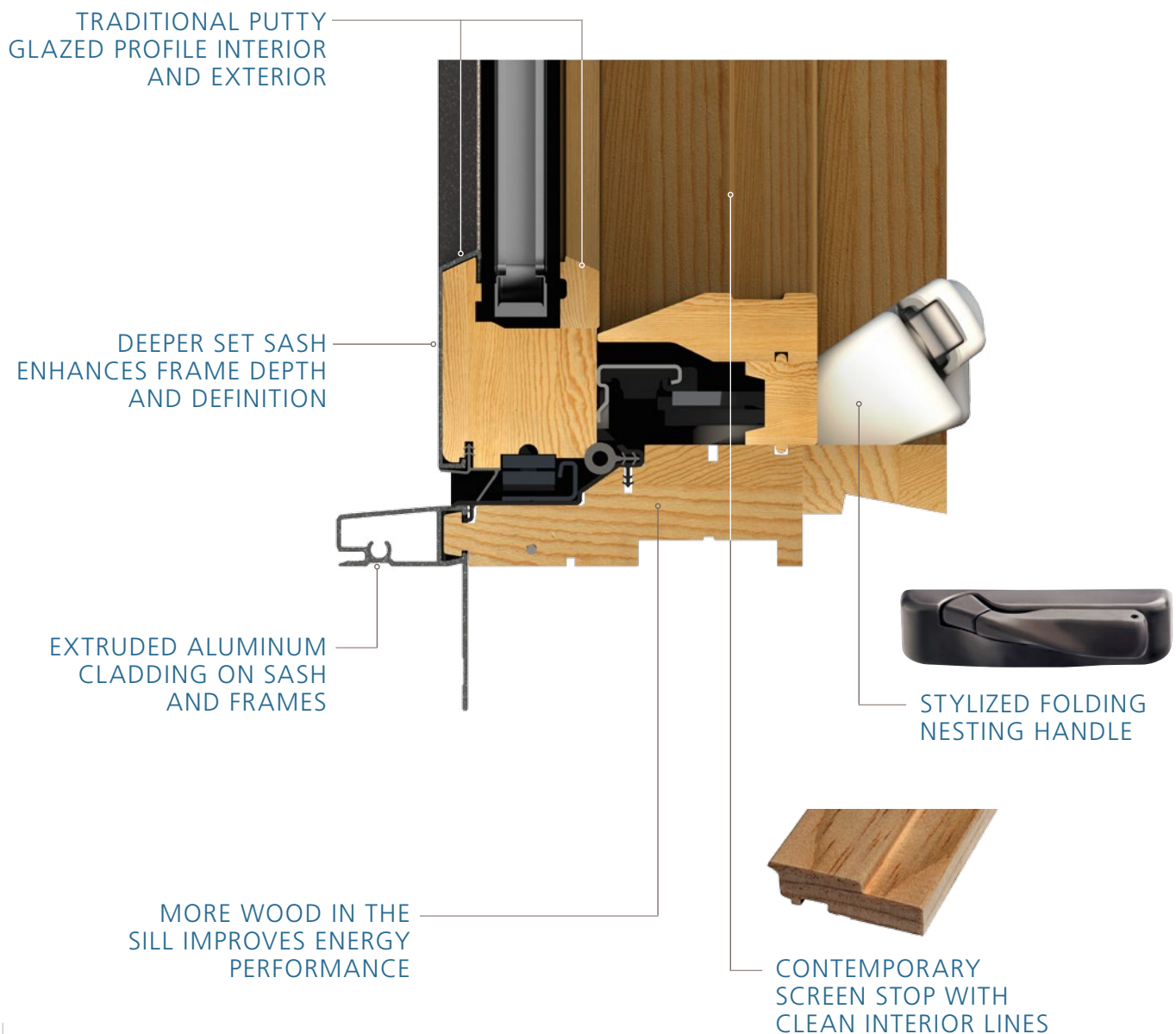
For a clean unobstructed look.



Clean lines, proven operation and multiple options for screens, finishes and hardware make these windows a great choice for your home. See dealer for additional product details and ordering information.

CASEMENT AND AWNING HIGH PERFORMANCE FEATURES

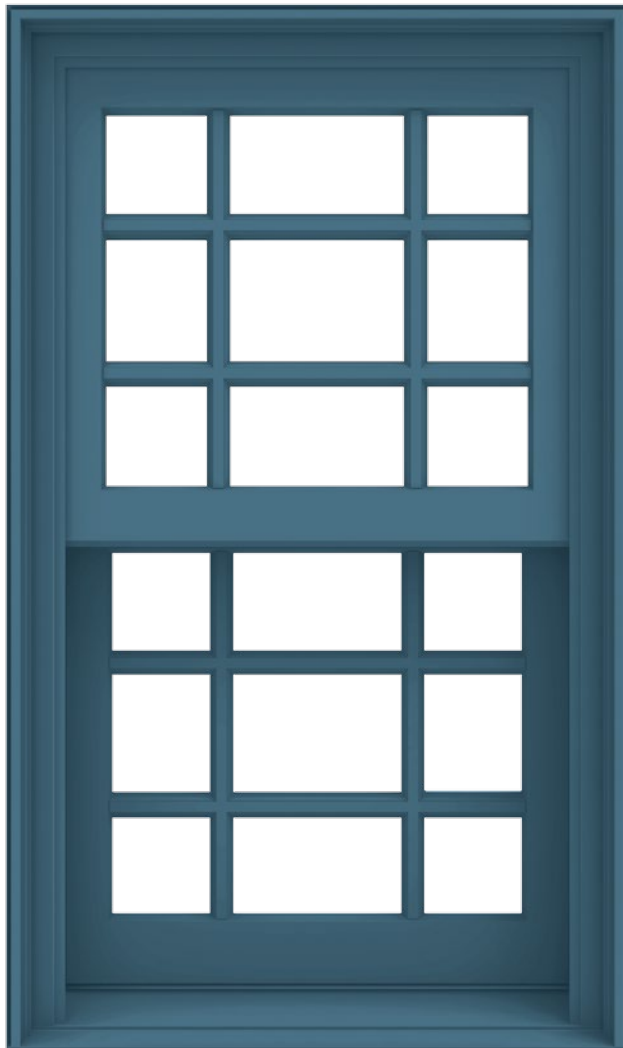
Our goal of achieving a window design that meets the 2016 ENERGY STAR® 6 criteria has allowed us to take advantage of the latest in high performance engineering and design. The new Sitaline design includes heavier hardware and greater thermal performance. The traditional putty glaze and deeper set sash features give this window an architecturally enriched appearance that works well in modern, historical, new construction, historical renovation and light commercial.



DOUBLE-HUNG WINDOWS

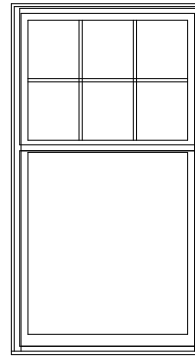
JELD-WEN double-hung windows offer a traditional style. They feature an upper and lower sash that can slide vertically past each other in a single frame and have a concealed jamb liner, providing a clean and architecturally focused look. Both sash tilt in for convenient cleaning.

These windows feature an optional 3-1/2" bottom rail with optional finger plow and a top rail with optional finger routes.

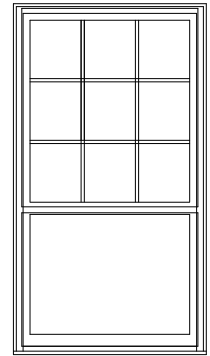


Beneath the low-profile exterior are several engineering and design cues that will keep these windows operating smoothly for years to come. See dealer for additional product details and ordering information.

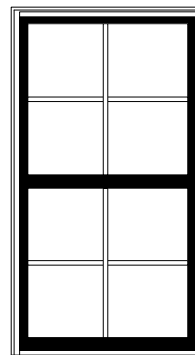
OPTIONAL DESIGNS



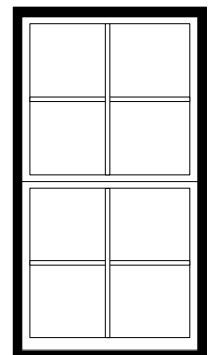
COTTAGE



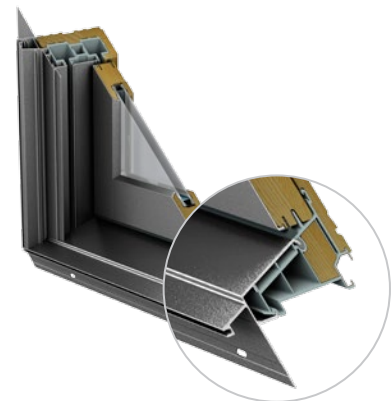
REVERSE
COTTAGE



HYBRID
WOOD FRAME/
CLAD SASH



HYBRID
CLAD FRAME/
WOOD SASH



CHAMBERED COMPOSITE INTERIOR SILL

- Added strength
- Space in chambers acts as thermal break

DOUBLE-HUNG POCKET REPLACEMENT WINDOWS*

Replacing drafty, old windows with new, JELD-WEN® pocket replacement double-hung windows is an easy way to make a big impact in your home. You'll retain the beauty of natural wood, plus save money on heating and cooling bills while giving your home added security. These windows will give any renovation project years of reliability and beauty.

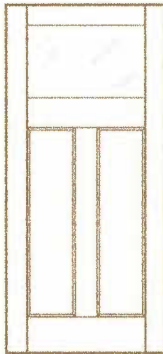


Add style and efficiency to your home in no time with our easy-to-install pocket replacement windows.

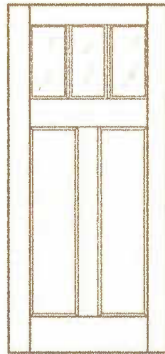


MERANTI MAHOGANY PREMIUM CRAFTSMAN & PANEL DOORS

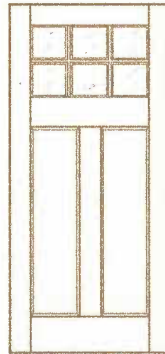
CRAFTSMAN INSULATED GLASS DOORS



6201



6203



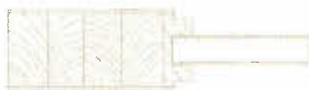
6206

SIDELIGHT



6101SL

CRAFTSMAN SHELF



5/8" Flat Panel Profile

GLASS OPTIONS (ALL GLASS INSULATED)



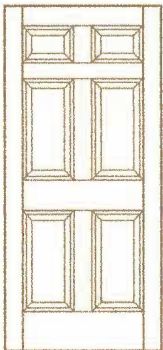
Clear
PRIVACY RATING 1



Clear Beveled
PRIVACY RATING 1



1-1/8" Single Hip
Raised Panel Profile



5066

» 6206 MERANTI MAHOGANY DOOR WITH CLEAR GLASS, FLAT PANELS

FORD HOUSE
REST ROOM
PROPOSED DOORS

Craftsman doors with their simple lines, flat panels and square sticking have been a favorite amongst architects for many years. They complement Craftsman, Prairie and Mission building styles as well as contemporary homes.

Meranti Mahogany

